

CITY OF MERCER ISLAND

DEVELOPMENT SERVICES GROUP
9611 SE 36TH STREET | MERCER ISLAND, WA 98040
PHONE: 206.275.7605 | www.mercergov.org



INSPECTION REQUESTS:



voicemail: (206) 275-7730

NOTE: ALL RECORDS AND DRAWINGS ARE SUBJECT TO PUBLIC DISCLOSURE AS REQUIRED BY RCW 42.56

CONTACT INFORMATION:

Applicant is to complete the following information.

Applicant Contact information prior to permit issuance: Name, Address, Phone, Email
Applicant Contact information post permit issuance: Name, Address, Phone, Email

REQUIRED SPECIAL INSPECTIONS / STRUCTURAL OBSERVATIONS:

It is the Engineer of Record's responsibility to specify all required Special Inspections or Structural Observation (check items below). The owner is responsible for hiring an approved private Special Inspector for the checked inspections noted below.

STRUCTURAL OBSERVATION BY ENGINEER OF RECORD (EOR): Engineer of Record, Company, Phone, General Conformance to Construction Documents, Other

SOILS / GEOTECHNICAL: Special Inspector, Company, Phone, Erosion control measures, Subsurface drainage placement, Shoring installation and monitoring, Verify fill material and compaction, etc.

REINFORCED CONCRETE: Special Inspector, Company, Phone, Concrete strength, Retaining wall construction, Reinforcing steel and concrete placement, etc.

STRUCTURAL STEEL: Special Inspector, Company, Phone, Fabrication and shop welds, Moment Frame construction, Structural steel erection, field welds and bolting, etc.

STRUCTURAL MASONRY: Special Inspector, Company, Phone, Mortar strength, Glass unit masonry installation, Masonry unit strength, Wall panel and veneer installation, etc.

WOOD: Special Inspector / Engineer of Record, Company, Phone, Lateral resisting system construction, High strength diaphragm construction, etc.

OTHER SPECIAL INSPECTIONS: Special Inspector, Company, Phone, Epoxy grout installations, Stucco installation, Expansion anchor installations, Infiltration System, etc.

DEFERRED SUBMITTALS:

The Applicant is required to select all deferred submittals / shop drawings for submittal to the City for review and approval prior to item fabrication / construction.

Connector plate wood trusses, Metal joist / metal trusses, Post tension layout, Exterior cladding, etc.

ENERGY CODE COMPLIANCE INFORMATION:

Indicate where the following information is located in the drawing set. Alternatively, incorporate or include the Residential Energy Code Prescriptive Compliance (RECPC) Form into the drawing set.

Building envelope, Air Leakage Testing, Whole house ventilation, Duct Leakage Testing, Energy Credit Information, Postconstruction Test, etc.

TO BE COMPLETED BY DSG

PROJECT ALERTS: Construction of the project shall be from approved plans only. No deviation from the approved project plans is allowed without prior approval from the City of Mercer Island.

TREE PROTECTION REQUIREMENTS: Tree protection as shown on approved drawings shall be installed at tree dripline prior to start of any site work and must remain in place throughout the project.

FIRE PROTECTION REQUIREMENTS: Separate Permits are required for ALL fire protection systems. Fire Sprinkler, Monitored Household Fire Alarm, etc.

WATER SUPPLY REQUIREMENTS: Fire sprinkler design calculations must be provided prior to determining water supply system requirements. Water Supply system upgrade required, etc.

DRAINAGE REQUIREMENTS: On site detention system required, Direct discharge into the lake, No Storm Water permit required, etc.

SIDE SEWER REQUIREMENTS: Side sewer requires a backflow preventer when connecting to the lake line or when the elevation of the lowest plumbing fixture is lower than the elevation of the upstream manhole rim.

APPROVED CODE ALTERNATIVES: Code alternatives must be inspected. Refer to the Inspection Checklist. CA1, CA2, etc.

SURVEY REQUIREMENTS: Surveyor shall verify points chosen for height calculations and point verification shall be submitted at the time of City foundation inspection.

MAXIMUM 40 PERCENT ALTERATION INSPECTION: A Building Inspection prior to demolition is required for all legally nonconforming single family dwelling to ensure no more than 40 percent of the dwelling's exterior walls are structurally altered.

GEOTECHNICAL INFORMATION: Land clearing, grading, filling and foundation work within geologic hazard areas is NOT PERMITTED between October 1 and April 1 without an approved Seasonal Development Limitation Waiver.

SEASONAL DEVELOPMENT LIMITATION RESTRICTION: Applies (Geologic Hazard area). Grading not permitted between October 1 through April 1.

TO BE COMPLETED BY DSG

TO BE COMPLETED BY DSG

REQUIRED CONSTRUCTION INSPECTIONS: Inspector shall initial and date appropriate inspection only if approved. Tree protection, Erosion control, Sewer disconnect and cap, etc.

TO BE COMPLETED BY DSG

90 DAY TEMPORARY CERTIFICATE OF OCCUPANCY (TCO): Applicant option. Additional fees will be required and must be approved prior to occupancy.

ADDITIONAL REQUIRED CITY INSPECTIONS: Call the appropriate contact to arrange the inspection. Required Inspection(s), Contact, Phone, Scheduling.

IMPACT FEES: Impact fees apply and are due prior to Final Inspection or on Date. PLAN REVIEW APPROVALS: Not all review disciplines may be required to review the documents.

TO BE COMPLETED BY APPLICANT

TO BE COMPLETED BY APPLICANT



CERTIFICATE OF OCCUPANCY Issued after all required inspections have been performed and approved.

PROJECT NAME: YAROSLAVSKY RESIDENCE
PROJECT ADDRESS: 9319 SE 43rd St Mercer Island, WA 98040

APPROVED DRAWINGS MUST BE KEPT ON THE BUILDING SITE AT ALL TIMES REVIEWED FOR CODE COMPLIANCE

PERMIT NUMBER

Approved Date

Approved Date

TREE UNITS REQUIREMENT
MICC 19.10

19.10.060 TREE REMOVAL ASSOCIATED WITH A DEVELOPMENT PROPOSAL

(2) RETENTION REQUIREMENT: MINIMUM 30% OF TREES WITH A DIAMETER OF 10 INCHES OR GREATER.

TREES WITH DIAMETER OVER 10" (617, 619, 626, 627, 628, 629, 631) MINIMUM OF TREES TO RETAIN = 8 x 30% = 2.4 = 3 TREES TO RETAIN
TREES TO BE REMOVED = 4 TREES

19.10.070 TREE REPLACEMENT

(A) TREE REPLACEMENT RATIO.

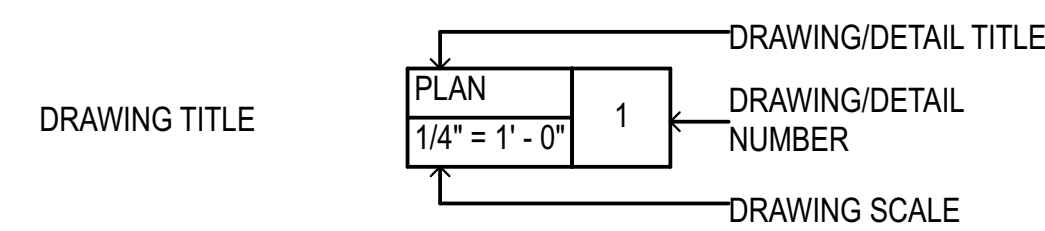
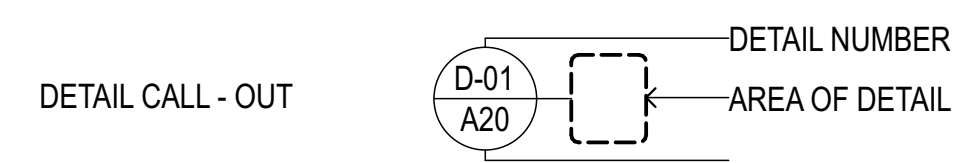
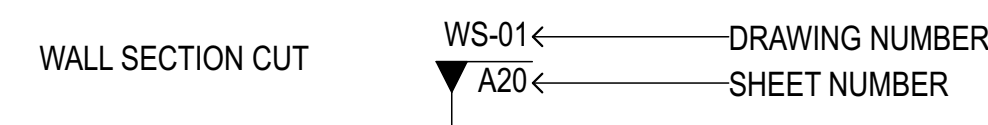
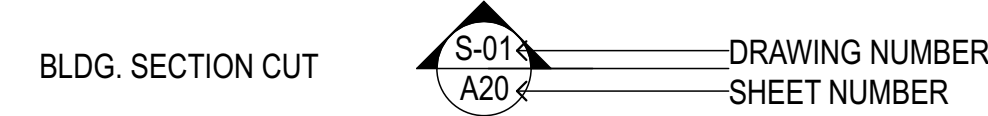
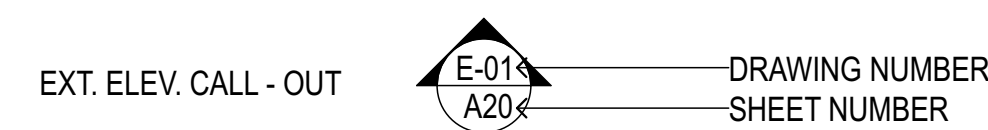
DIAMETER OF REMOVED TREE LESS THAN 10 INCHES 1 TREE TO BE REPLACED
10 INCHES UP TO 24 INCHES 2 TREES TO BE REPLACED
24 INCHES UP TO 36 INCHES 3 TREES TO BE REPLACED

TREES TO BE REMOVED

TREE # 619 - DSH 15" PERMITTED FOR REMOVAL
TREE # 620 - DSH 7" 1 TREE REQUIRED
TREE # 621 - DSH 7" 1 TREE REQUIRED
TREE # 622 - DSH 9" 1 TREE REQUIRED
TREE # 623 - DSH 9" 1 TREE REQUIRED
TREE # 626 - DSH 6" 1 TREE REQUIRED
TREE # 628 - DSH 19" 2 TREES REQUIRED
TREE # 629 - DSH 21" 2 TREES REQUIRED
TREE # 630 - DSH 8" 1 TREE REQUIRED
TREE # 631 - DHS 30" 3 TREES REQUIRED

TOTAL TREES TO REPLACED 13 NEW TREES

SYMBOLS LEGEND



DRAWING INDEX

ID	LAYOUT
A.001	CERTIFICATE OF OCCUPANCY
A.002	COVER SHEET
A.003	LAND USE CODE
A.004	LAND USE CODE
A.005	LAND USE CODE
A.006	LAND USE CODE
A.007	LAND USE CODE
A.008	LAND USE CODE
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A.099	LAND USE CODE
A.100	LAND USE CODE

ENERGY NOTES

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT PER WSEC 2018 TABLE R402.1.

REQUIRED INSULATION VALUES:

FLOORS R-38
CEILINGS R-49
WOOD FRAME WALLS R-21
BELOW GRADE WALL INT. INSUL. 10/15/21 INT+ TB
BELOW GRADE WALL EXT. INSUL. R-10
SLAB ON GRADE R-10, UNDER ENTIRE SLAB.
GLAZING - VERTICAL DOUBLE - U = .25 MAX.
GLAZING - OVERHEAD DOUBLE - U = .50 MAX.
DOORS U = .25 MAX. W/ 1 EXEMPT

* EXTERIOR DOORS ARE TO BE 1-3/4 INCH SOLID CORE WITH FULL WEATHER STRIP AND THRESHOLD. ALL GLAZING IN EXTERIOR DOORS IS TO BE DOUBLE GLAZED WITH SAFETY GLASS.

- THE BUILDING MECHANICAL SYSTEM SHALL COMPLY WITH THE REQUIREMENTS OF THE 2018 WASHINGTON STATE ENERGY CODE (WSEC)
- PROVIDE COMBUSTION, AIR TO OPEN COMBUSTION FUEL-BURNING APPLIANCES, THE APPLIANCES AND COMBUSTION AIR OPENING SHALL BE LOCATED OUTSIDE THE BUILDING THERMAL ENVELOPE OR ENCLOSED IN A ROOM THAT IS ISOLATED FROM INSIDE THE THERMAL ENVELOPE. PER N1102.4.4 IRC R402.4.4. SHOW ON PLAN SUBMITTAL TO COUNTY.
- PROVIDE VENTING FOR ALL GAS HEATING APPLIANCES IN ACCORDANCE WITH THE HEATING APPLIANCE MANUFACTURER'S RECOMMENDATIONS, AND THE 2018 IRC.
- HEATING DESIGN TEMPERATURES: (PER 2018 WASHINGTON STATE ENERGY CODE) HEATING: 72 DEGREES INSIDE AND 24 DEGREES OUTSIDE.
- PROVIDE DUCT INSULATION AS REQUIRED BY 2018 WASHINGTON STATE ENERGY CODE SEC 403.2.1.
- SOURCE SPECIFIC VENTILATION: VENTILATION (EXHAUST) SHALL BE PROVIDED IN BATHROOMS, KITCHENS, LAUNDRY ROOMS, SPA & POOL ROOMS AND OTHER ROOMS WHERE EXCESS WATER VAPOR OR COOKING ODOR ARE PRODUCED, AS REQUIRED BY THE 2015 IRC, CH. 15. PER TABLE M1505.4.4; BATHROOMS: 50 CFM MIN; A WHOLE HOUSE VENTILATION SYSTEM SHALL BE INSTALLED; OF EITHER INTERMITTENT OR CONTINUOUS OPERATION, AS REQUIRED BY THE 2015 IRC, CH.15.
- DUCT LEAKAGE TEST RESULTS SHALL BE PROVIDED TO THE BUILDING INSPECTOR AND HOMEOWNER PRIOR TO AN APPROVED FINAL INSPECTION PER WSEC 101.4.3.1 & 403.2. A SIGNED AFFIDAVIT DOCUMENTING THE DUCT LEAKAGE TEST RESULTS SHALL BE PROVIDED TO THE BUILDING INSPECTOR PRIOR TO AN APPROVED FINAL INSPECTION.
- A RESIDENTIAL ENERGY COMPLIANCE CERTIFICATE COMPLYING WITH WSEC 401.3 IS REQUIRED TO BE COMPLETED BY THE DESIGN PROFESSIONAL OR BUILDER AND PERMANENTLY POSTED WITHIN 3' OF THE ELECTRICAL PANEL PRIOR TO FINAL INSPECTION.
- BUILDING AIR LEAKAGE TESTING, DEMONSTRATING THE AIR LEAKAGE RATE DOES NOT EXCEED 5 AIR CHANGES PER HOUR, IS REQUIRED PRIOR TO FINAL INSPECTION PER WSEC 402.4.1.2. TEST RESULTS SHALL BE POSTED ON THE RESIDENTIAL ENERGY COMPLIANCE CERTIFICATE (WSEC 401.3)
- EACH DWELLING UNIT IS REQUIRED TO BE PROVIDED WITH AT LEAST ONE PROGRAMMABLE THERMOSTAT FOR THE REGULATION OF TEMPERATURE PER WSEC 403.1.
- MINIMUM 75% OF ALL INTERIOR LUMINARIES SHALL BE HIGH EFFICACY LUMINARIES (PER WSEC 404.1) AND ALL EXTERIOR LIGHTING SHALL BE HIGH EFFICACY LUMINARIES.

ENERGY CREDITS

(6 CREDITS FOR MEDIUM DWELLING)

EFFICIENT BUILDING ENVELOPE 1.4: 1.0 CREDIT
PRESCRIPTIVE COMPLIANCE BASED ON TABLE R402.1.1 WITH THE FOLLOWING MODIFICATIONS:
VERTICAL FENESTRATION U = 0.25
WALL R-21 PLUS R-4 CI
FLOOR R-38
BASEMENT WALL R-21 INT PLUS R-5 CI
SLAB ON GRADE R-10 PERIMETER AND UNDER ENTIRE SLAB. BELOW GRADE SLAB R-10 PERIMETER AND UNDER ENTIRE SLAB, OR
COMPLIANCE BASED ON SECTION R402.1.4: REDUCE TOTAL CONDUCTIVE UA BY 15%

AIR LEAKAGE CONTROL AND EFFICIENT VENTILATION 2.3: 1.5 CREDITS
COMPLIANCE BASED ON SECTION R.402.4.1.2: REDUCE THE TESTED AIR LEAKAGE TO 2.0 AIR CHANGES PER HOUR MAXIMUM AT 50 PASCALS OR FOR R-2 OCCUPANCIES, OPTIONAL COMPLIANCE BASED ON SECTION R402.4.1.2: REDUCE THE TESTED AIR LEAKAGE TO 0.25 CFM/SF MAXIMUM AT 50 PASCALS AND ALL WHOLE HOUSE VENTILATION REQUIREMENTS AS DETERMINED BY SECTION M1507.3 OF THE INTERNATIONAL RESIDENTIAL CODE OR SECTION 403.8 OF THE INTERNATIONAL MECHANICAL CODE SHALL BE MET WITH A HEAT RECOVERY VENTILATION SYSTEM WITH MINIMUM SENSIBLE HEAT RECOVERY EFFICIENCY OF 0.65.

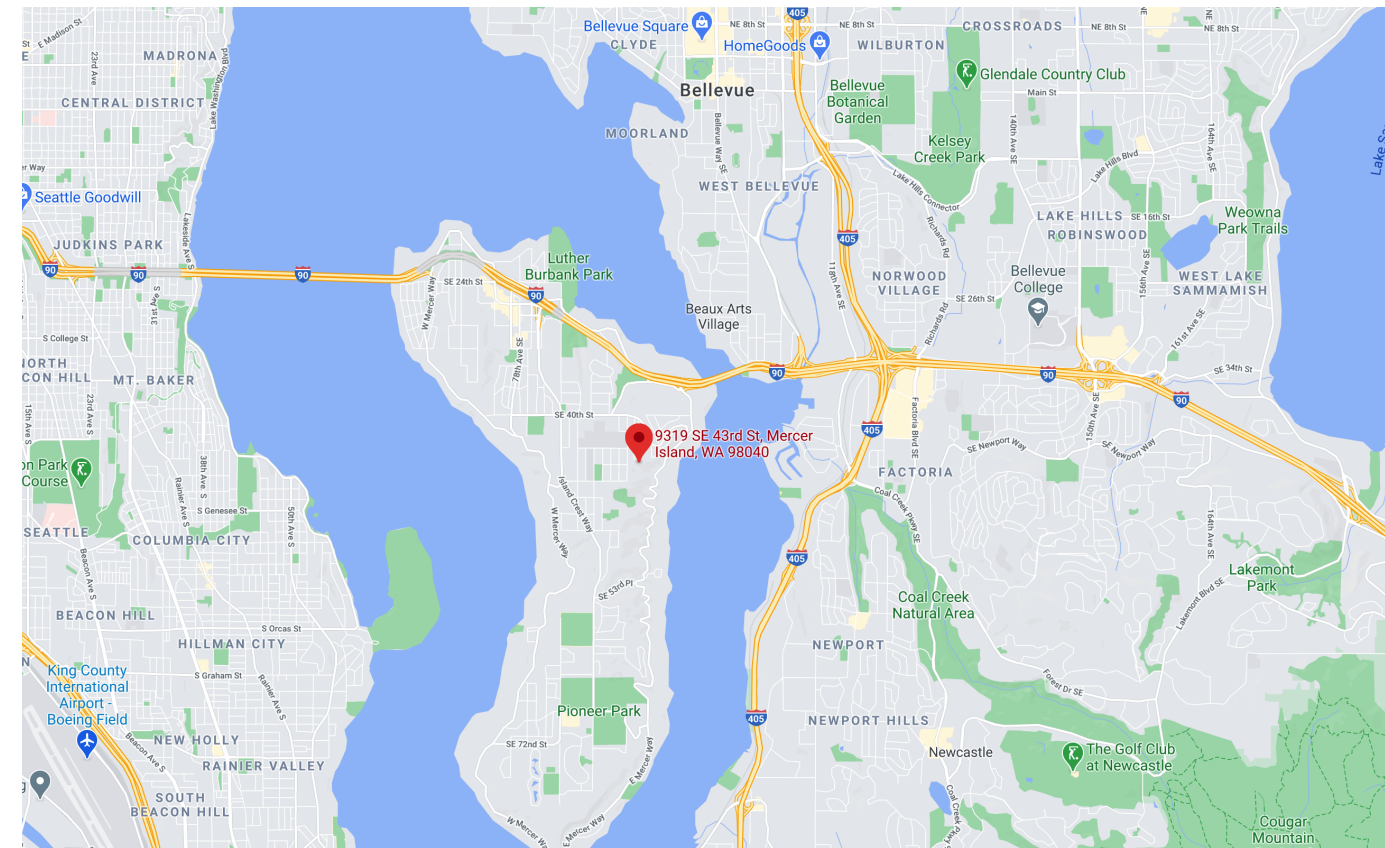
HIGH EFFICIENCY HVAC 3.1: 1.0 CREDIT
ENERGY STAR RATED (U.S. NORTH) GAS OR PROPANE FURNACE WITH MINIMUM AFUE OF 95% OR ENERGY STAR RATED (U.S. NORTH) GAS OR PROPANE BOILER WITH MINIMUM AFUE OF 90%.

HIGH EFFICIENCY HVAC DISTRIBUTION SYSTEM 4.2: 1.0 CREDIT
ENERGY STAR RATED (U.S. NORTH) GAS OR PROPANE FURNACE WITH MINIMUM AFUE OF 95%

EFFICIENT WATER HEATING 5.3: 1.0 CREDIT
ENERGY STAR RATED GAS OR PROPANE WATER HEATER WITH A MINIMUM UEF OF 0.91

APPLIANCE PACKAGE 7.1: 0.5 CREDIT
ALL OF THE FOLLOWING APPLIANCES SHALL BE NEW AND INSTALLED IN THE DWELLING UNIT AND SHALL MEET THE FOLLOWING STANDARDS:
DISHWASHER - ENERGY STAR RATED
REFRIGERATOR (IF PROVIDED) - ENERGY STAR RATED
WASHING MACHINE - ENERGY STAR RATED
DRYER - ENERGY STAR RATED, VENTLESS DRYER WITH MIN. CEF RATING OF 5.2.

VICINITY MAP



MECHANICAL & VENTILATION NOTES

- INTERIOR MECHANICAL VENTILATION EQUIPMENT (WITH MANUAL CONTROLS).
-BATHROOM 50 CFM MIN @ 0.25 IN W.G.
-LAUNDRY 50 CFM MIN @ 0.25 IN W.G.
-KITCHEN 100 CFM MIN @ 0.25 IN W.G.
- WHOLE HOUSE VENTILATION.
4,501 - 6,000 SF, 4 - 5 BEDROOMS, USE 105 CFM CONTINUOUS VENTILATION.
- ALL EXHAUST DUCTS MUST TERMINATE OUTSIDE THE BUILDING AND MUST BE INSULATED TO A MINIMUM OF R-6 IN UNCONDITIONED SPACES.
- PROVIDE BACK DRAFT - DAMPERS AT ALL EXHAUST DUCTS.
- PROVIDE 6" DIAMETER FLEX DUCTS WITH A MAXIMUM RUN OF 45'-0".
- WARM AIR DUCTS IN UNCONDITIONED AREAS MUST BE LEAK TESTED IN ACCORDANCE WITH THE 2018 WASHINGTON STATE ENERGY CODE, DUCT TESTING STANDARDS RS-33.
- ANY REQUIRED DUCT LEAKAGE TEST RESULT SHALL BE PROVIDED TO THE BUILDING INSPECTOR PRIOR TO AN APPROVED FINAL INSPECTION.
- APPROVED TEST RESULTS MUST BE PROVIDED TO THE HOME OWNER.

WATER HEATER NOTES

- WATER HEATER SYSTEMS SHALL BE ANCHORED OR STRAPPED TO RESIST HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MOTION.
- WATER HEATING SYSTEMS SHALL BE EQUIPPED WITH AUTOMATIC TEMPERATURE CONTROLS AND SHALL BE SET TO 120 DEGREES FAHRENHEIT. TEMPERATURE AND PRESSURE RELIEF VALVES SHALL BE DRAINED TO THE OUTSIDE OF THE BUILDING.
- WRAP AN EXPOSED HOT WATER PIPES WITH PIPE INSULATION.

HVAC NOTES

- SEE ATTACHED EQUIPMENT SIZING FORM FOR FURNACE BTU OUTPUT. (DESIGN - BUILT SEPARATE PERMIT)
- PROVIDE PROGRAMMABLE THERMOSTATS FOR THE REGULATION OF TEMPERATURE.

MECHANICAL & ENERGY NOTES

- ALL THE MECHANICAL WORK TO BE BIDDED SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES.
- THE MECHANICAL WORK, WHILE BIDDER DESIGNED, MUST ADHERE TO ALL REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS.
- VENTILATION OF ALL AREAS SHALL BE IN CONFORMANCE WITH WAC 51-11 AND WAC 51-13.
- ALL EXTERIOR JOINTS AROUND WINDOWS AND DOORS, OPENINGS BETWEEN WALLS AND ROOF OR FOUNDATIONS, OPENINGS AT PENETRATIONS, AND ALL WEATHER STRIPPING TO LIMIT AIR LEAKING PER THE 2018 WASHINGTON STATE ENERGY CODE (WSEC)

PROJECT INFORMATION

LEGAL DESCRIPTION:
LOT 10, MERCERWOOD DIVISION NO. 5, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 57 OF PLATS, PAGE 28, RECORDS OF KING COUNTY, WASHINGTON. SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

PARCEL NUMBER: 5459900050

SITE ADDRESS: 9313 SE 43RD ST, MERCER ISLAND, WA. 98040

LOT AREA: 10,625 SF

BASE ZONE: R 9.6

SCOPE OF WORK: CONSTRUCTION OF A SINGLE FAMILY RESIDENCE. EXISTING SFR TO BE DEMOLISHED.

APPLICABLE CODES: 2018 INTERNATIONAL RESIDENTIAL CODE (IRC)
2018 WASHINGTON CITIES ELECTRICAL CODE
2018 INTERNATIONAL MECHANICAL CODE (IMC)
2018 UNIFORM PLUMBING CODE (UPC)
2018 WASHINGTON STATE ENERGY CODE
2018 UNIFIED LAND DEVELOPMENT CODE, MICC TITLE 19

SITE DATA AND CALCULATIONS

SETBACK REQUIREMENTS: FRONT YARD: 20'
SIDE YARD: THE SUM OF THE SIDE YARDS' WIDTH SHALL BE AT LEAST 15 FT. DWELLINGS WITH HEIGHT GREATER THAN 25 FT SHALL PROVIDE A MINIMUM REQUIRED SIDE YARD WIDTH OF 10 FT.
REAR YARD: 10'

LOT COVERAGE LOT AREA: 10,625 SF
40% OF LOT AREA: MAXIMUM LOT COVERAGE ALLOWED: 4,250 SF
TOTAL LOT COVERAGE PROPOSED: 3,578.63 SF

HARDSCAPE LOT AREA: 10,625 SF
9% OF LOT AREA: MAXIMUM HARDSCAPE ALLOWED: 956.25 SF
TOTAL HARDSCAPE PROPOSED: 938.17 SF

BUILDING HEIGHT: MAX BUILDING HEIGHT ALLOWED:
30' FROM AVERAGE BUILDING ELEVATION (ABE)

AVERAGE BUILDING ELEVATION: 340.3'
MAX BUILDING ELEVATION: 370.3'
FFL AT ENTRY LEVEL: 343' - 3/4"
HIGHEST POINT OF STRUCTURE: 366.25'

GENERAL NOTES

- FINISH FLOOR OF BUILDING AT 343' - 3/4".
- CONTACT THE ARCHITECT IMMEDIATELY CONCERNING ANY DISCREPANCIES OR DIMENSIONAL ERRORS IN THE DRAWINGS BEFORE PROCEEDING WITH WORK IN THE AFFECTED AREA.
- DIMENSIONS ARE TO FACE OF CONCRETE AND FACE OF STUDS UNLESS NOTED OTHERWISE.
- ALL WORK MUST COMPLY WITH ALL APPLICABLE CODES, ORDINANCES AND STRUCTURAL REQUIREMENTS. THESE TAKE PRECEDENCE OVER ALL DRAWINGS, NOTES, SPECIFICATIONS AND SIZES.
- VERIFY ALL DIMENSIONS BEFORE BEGINNING THE WORK.
- DO NOT SCALE DRAWINGS.
- PROVIDE APPROVED DRAFT STOPPING IN CONCEALED SPACE BETWEEN CEILING AND FLOOR PER BUILDING CODE.
- PROVIDE APPROVED FIRE STOPPING WALLS.

CONTRACTOR NOTES

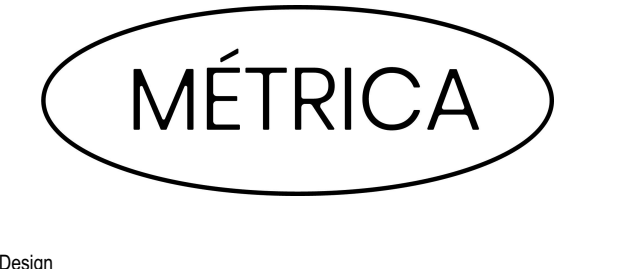
- CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFYING THE DETAILS, DIMENSIONS AND CONDITIONS IN THE DRAWINGS IN THE FIELD.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR EVALUATING CONSTRUCTIBILITY OF THE DESIGN.
- IN THE EVENT CONTRACTOR IDENTIFIES AN ERROR OR INCONSISTENCY IN THE DRAWING, CONTRACTOR MUST NOTIFY ARCHITECT.
- IN THE EVENT CONTRACTOR MAKES MODIFICATIONS TO THE DRAWINGS OR MODIFIES THE AS-BUILT CONDITION, CONTRACTOR MUST NOTIFY ARCHITECT IN ADVANCE OF THE MODIFICATION.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR IDENTIFYING AND LOCATING UTILITIES ON SITE.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTING THE PROJECT IN A SAFE MANNER.
- IN THE EVENT CONTRACTOR DETERMINES IT NEEDS ADDITIONAL INFORMATION OR DETAIL REGARDING THE DESIGN, CONTRACTOR MUST CONTACT ARCHITECT BEFORE PROCEEDING.
- PROVIDE SOLID WOOD BLOCKING AS SUPPORT FOR ALL WALL MOUNTED RAILINGS, FIXTURES AND FITTINGS.
- FLASH ALL OPENINGS WITH MINIMUM 24 GA GALVANIZED.
- ALL WOOD IN CONTACT WITH CONCRETE, UNIT MASONRY OR EARTH MUST BE PRESSURE TREATED.

PROJECT ZERO & BUILDING ELEVATIONS	TRUE ELEVATION	ELEVATION TO PROJECT ZERO
PROJECT ZERO:	+343.00	+0.00
AVERAGE BUILDING ELEVATION:	+340.30	-2.70
GROUND LEVEL:	+343.00	+0.00
MAXIMUM BUILDING HEIGHT:	+370.30	+27.30
MAXIMUM BUILDING HEIGHT (ROOF HEIGHT EXCEPTIONS):	+370.30	+27.30
ACTUAL BUILDING HEIGHT:	+366.25	+23.25

NOTE: ALL DIMENSION TO PROJECT ZERO, UCON.

GENERAL NOTES

- PERMIT DRAWINGS ARE NOT CONSTRUCTION DRAWINGS.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFYING THE DETAILS, DIMENSIONS AND CONDITIONS IN THE DRAWINGS IN THE FIELD.
 - CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION.
 - CONTRACTOR IS SOLELY RESPONSIBLE FOR EVALUATING CONSTRUCTIBILITY OF THE DESIGN.
 - IN THE EVENT CONTRACTOR IDENTIFIES AN ERROR OR INCONSISTENCY IN THE DRAWING, CONTRACTOR MUST NOTIFY DESIGNER.
 - IN THE EVENT CONTRACTOR MAKES MODIFICATIONS TO THE DRAWINGS OR MODIFIES THE AS-BUILT CONDITION, CONTRACTOR MUST NOTIFY DESIGNER IN ADVANCE OF THE MODIFICATION.
 - CONTRACTOR IS SOLELY RESPONSIBLE FOR IDENTIFYING AND LOCATING UTILITIES ON SITE.
 - CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTING THE PROJECT IN A SAFE MANNER.
 - IN THE EVENT CONTRACTOR DETERMINES IT NEEDS ADDITIONAL INFORMATION OR DETAIL REGARDING THE DESIGN, CONTRACTOR MUST CONTACT DESIGNER BEFORE PROCEEDING.



Design
Metrica LLC
500 YALE AVE N, FLOOR 1
SEATTLE WA 98109

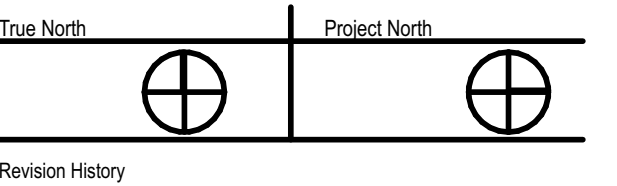
Owner
LEO & ROUSLANA YAROSLAVSKY
9319 SE 43RD ST
MERCER ISLAND, WA 98040

Architect Stamp



Project Name
YAROSLAVSKY RESIDENCE

9319 SE 43RD ST
MERCER ISLAND, WA 98040



Revision History

Sheet Size:
24" x 36"

Drawing Title:
COVER SHEET

Drawing Status:
PERMIT SET

Issue Date:
31/03/2021

Issue:

Revision:

SHEET NAME

MICC 19.02.020 (C) (1) (c) SIDE YARDS SHALL BE PROVIDED AS FOLLOWS:

i. TOTAL WIDTH

(a) FOR LOTS WITH A LOT WIDTH OF 90 FEET OR LESS, THE SUM OF THE SIDE YARDS' WIDTH SHALL BE AT LEAST 15 FT.

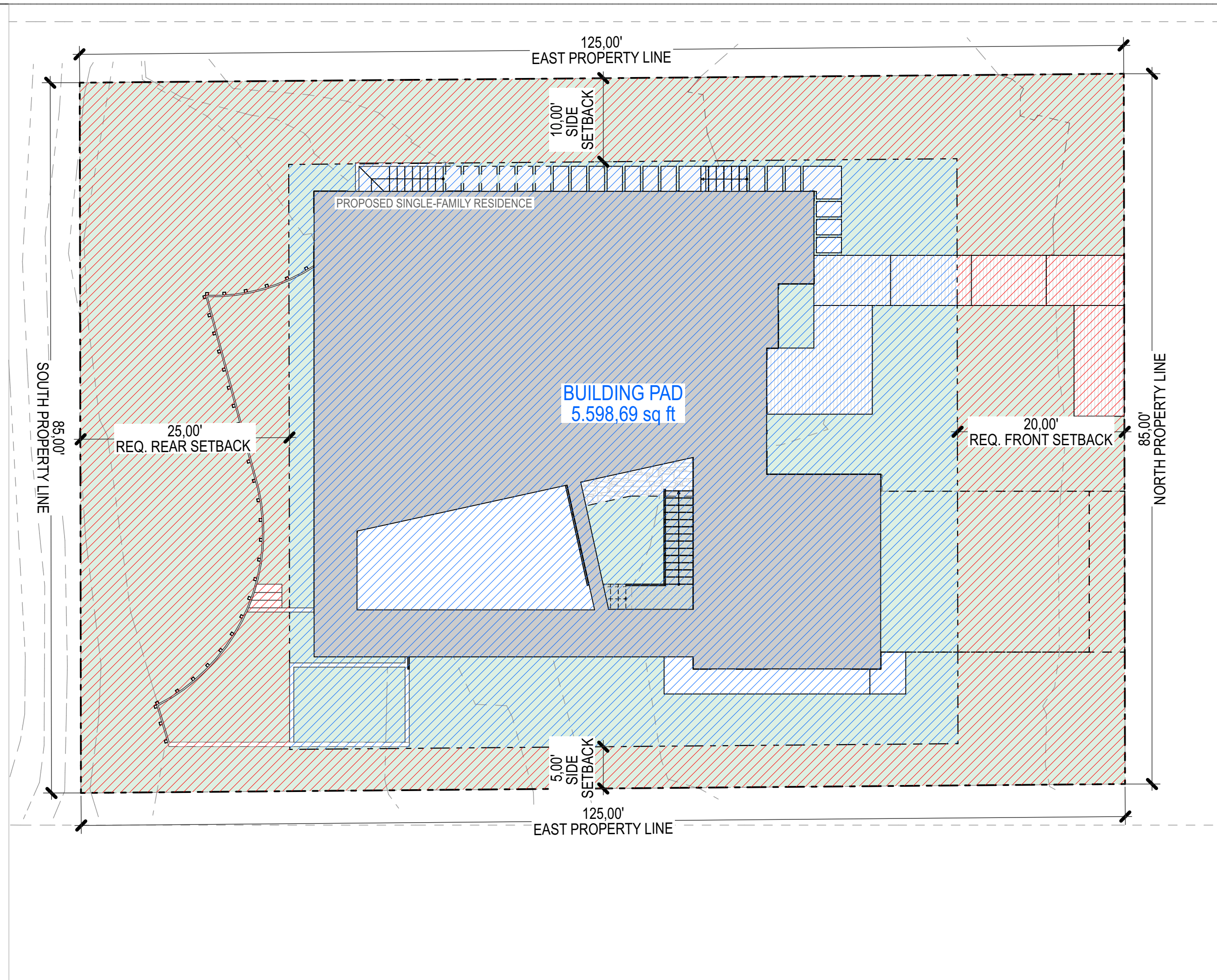
ii. MINIMUM SIDE YARD WIDTH

THE MINIMUM SIDE YARD WIDTH IS FIVE FEET OR 33 PERCENT OF THE AGGREGATE SIDE YARD TOTAL WIDTH, WHICHEVER IS GREATER.

iii. VARIABLE SIDE YARD DEPTH REQUIREMENT

FOR LOTS WITH AN AREA OF 6,000 SQ FT OR MORE, THE MINIMUM SIDE YARD DEPTH ABUTTING AN INTERIOR LOT LINE SHALL BE THE GREATER OF THE MINIMUM SIDE YARD DEPTH REQUIRED UNDER SUBSECTION (C)(1)(c)(ii) OF THIS SECTION, OR AS FOLLOWS:

(b) SINGLE-FAMILY DWELLINGS WITH A HEIGHT OF MORE THAN 25 FT MEASURED FROM THE EXITING OR FINISHED GRADE, WHICHEVER IS LOWER, TO THE TOP OF THE EXTERIOR WALL FACADE ADJOINING THE SIDE YARD SHALL PROVIDE A MINIMUM SIDE YARD DEPTH OF 10 FT.



3 SETBACK DIAGRAM 3/32" = 1'-0"

PROJECT ZERO & BUILDING ELEVATIONS	TRUE ELEVATION	ELEVATION TO PROJECT ZERO
PROJECT ZERO:	+343.00	+0.00
AVERAGE BUILDING ELEVATION	+340.30	-2.70
GROUND LEVEL:	+343.00	+0.00
MAXIMUM BUILDING HEIGHT:	+370.30	+27.30
MAXIMUM BUILDING HEIGHT (ROOF HEIGHT EXCEPTIONS):	+370.30	+27.30
ACTUAL BUILDING HEIGHT:	+386.25	+23.25

NOTE: ALL DIMENSION TO PROJECT ZERO, UCN.

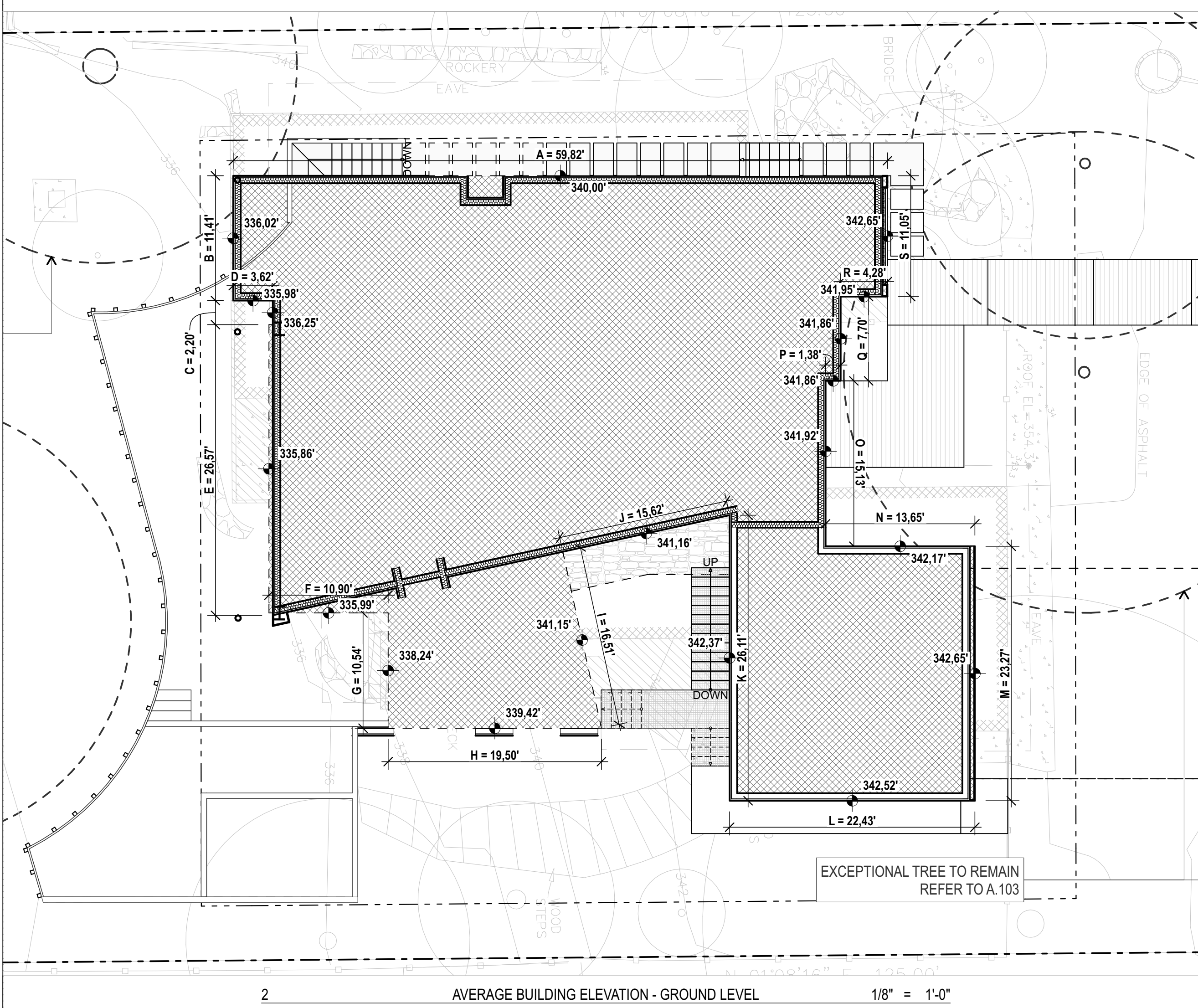
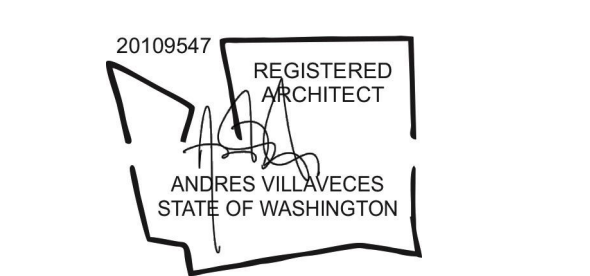
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LEO & ROUSLANA YAROSLAVSKY
 9319 SE 43RD ST
 MERCER ISLAND, WA 98040

Architect Stamp



2 AVERAGE BUILDING ELEVATION - GROUND LEVEL 1/8" = 1'-0"

WALL SEGMENT	LENGTH	MID POINT ELEVATION	ELEVATION LENGTH
A	59.82	340.00	20338.80
B	11.41	336.02	3833.99
C	2.20	336.25	739.75
D	3.62	335.98	1216.25
E	26.57	335.86	8923.80
F	10.90	335.99	3662.29
G	10.54	338.24	3565.05
H	19.50	339.42	6618.69
I	16.51	341.15	5632.39
J	15.62	341.16	5328.92
K	26.11	342.37	8939.28
L	22.43	342.52	7682.72
M	23.27	342.65	7973.47
N	13.65	342.17	4670.62
O	15.13	341.92	5173.25
P	1.38	341.86	471.77
Q	7.70	341.86	2632.32
R	4.28	341.95	1463.55
S	11.05	342.65	3786.28
TOTALS	301.69	N/A	102653.18
ABE	102653.18	=	340.3
	301.69		

LOT SLOPE CALCULATIONS

HIGHEST ELEVATION POINT OF LOT:
 LOWEST ELEVATION POINT OF LOT:
 ELEVATION DIFFERENCE:
 HORIZONTAL DISTANCE BETWEEN HIGH AND LOW POINTS:

341.43 FT
 331.5 FT
 9.93 FT
 125 %

LOT SLOPE*

7.94 %

MAX. BUILDING HEIGHT AS PER MERCER ISLAND CITY CODE CH19.02.020 E.1.
 AVERAGE BUILDING ELEVATION CALCS AS PER MERCER ISLAND CITY CODE CH 19.02.020 E.4.

Project Name
YAROSLAVSKY RESIDENCE
 9319 SE 43RD ST
 MERCER ISLAND, WA 98040

True North | Project North

Revision History

Sheet Size:
 24" x 36"

Drawing Title:
LAND USE CODE

Drawing Status:
PERMIT SET

Issue Date:
 31/03/2021

Issue:
 SCHEMATIC DESIGN PACKAGE

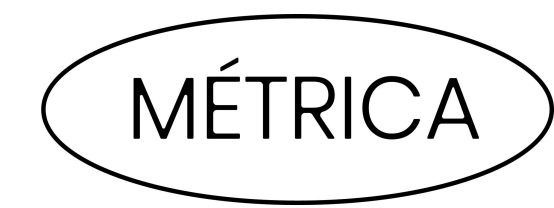
Revision:
 01

SHEET NAME

PROJECT ZERO & BUILDING ELEVATIONS	TRUE ELEVATION	ELEVATION TO PROJECT ZERO
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MAXIMUM BUILDING HEIGHT (ROOF HEIGHT EXCEPTIONS):	+370.30'	+27.30'
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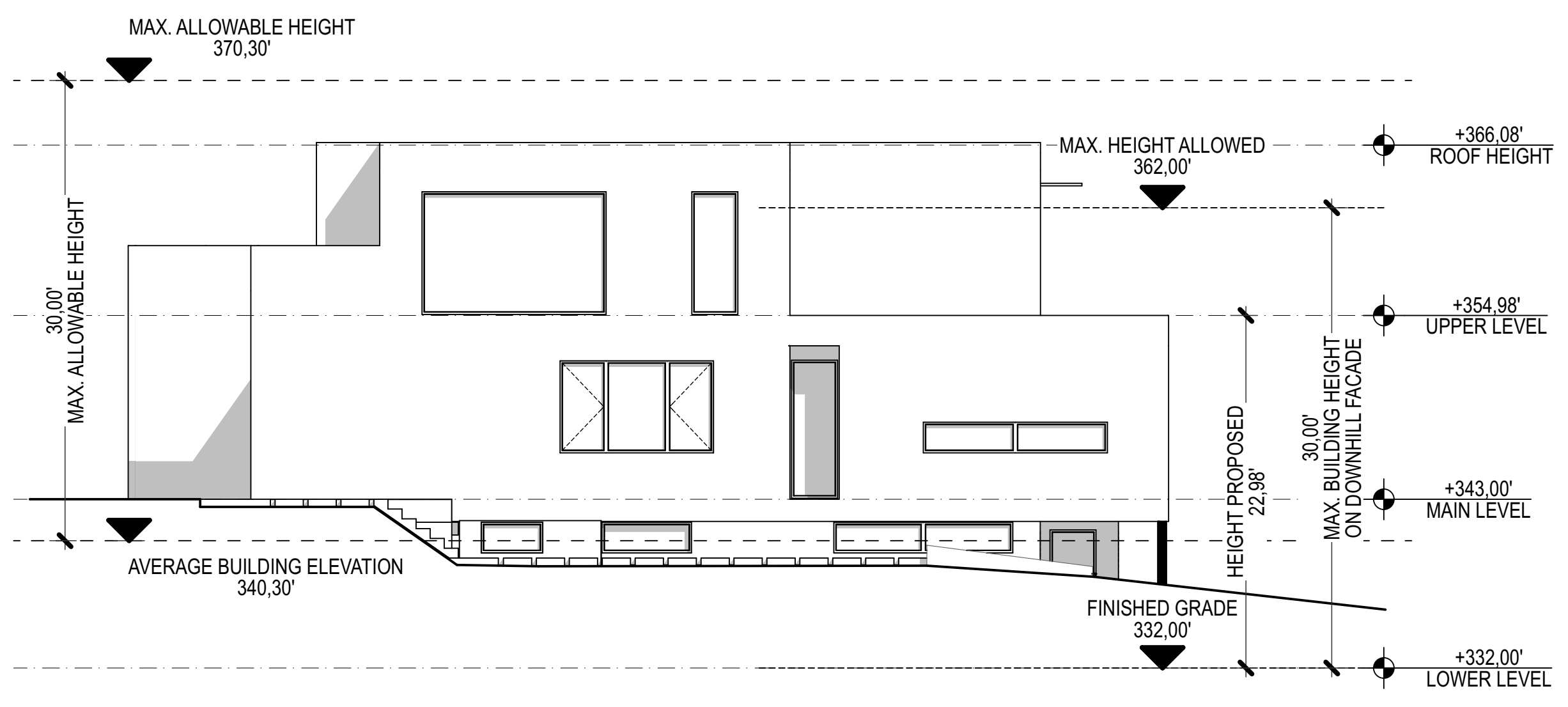
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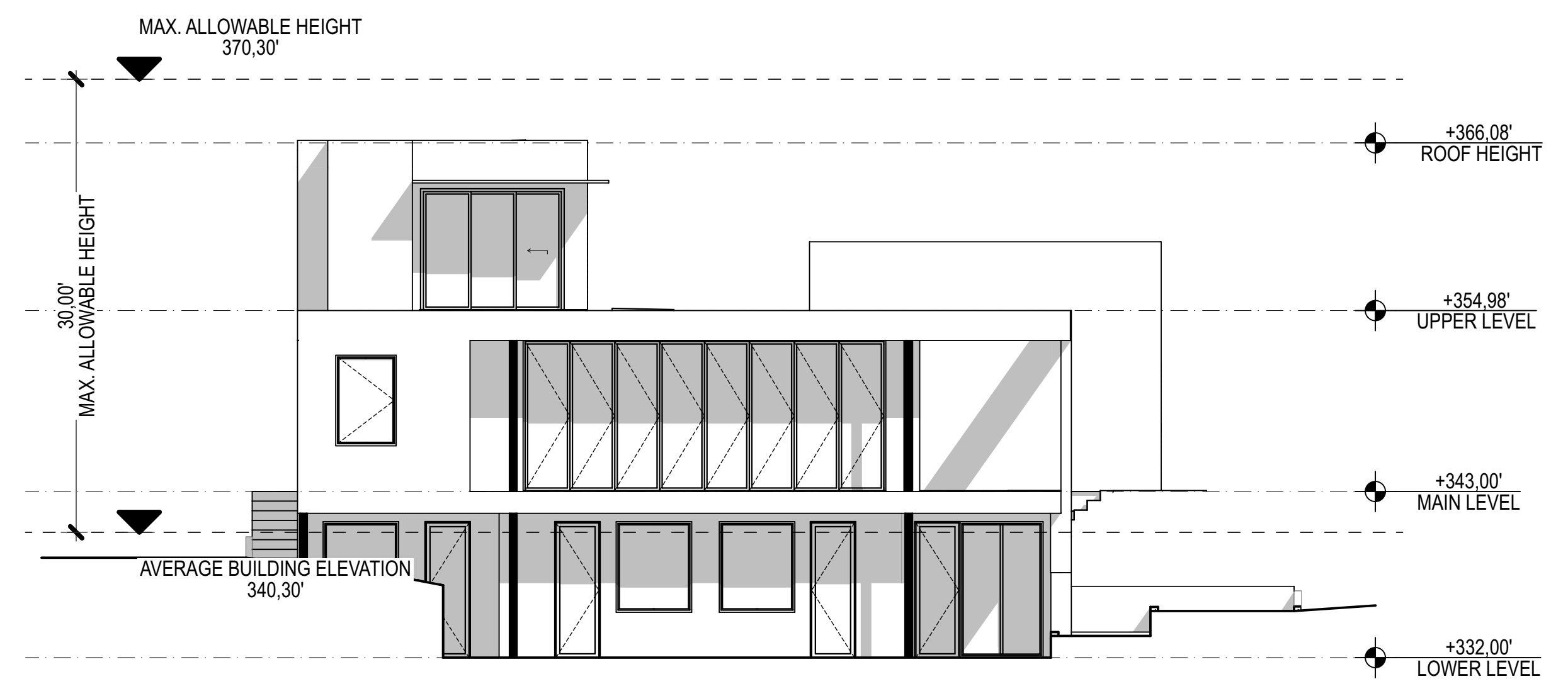
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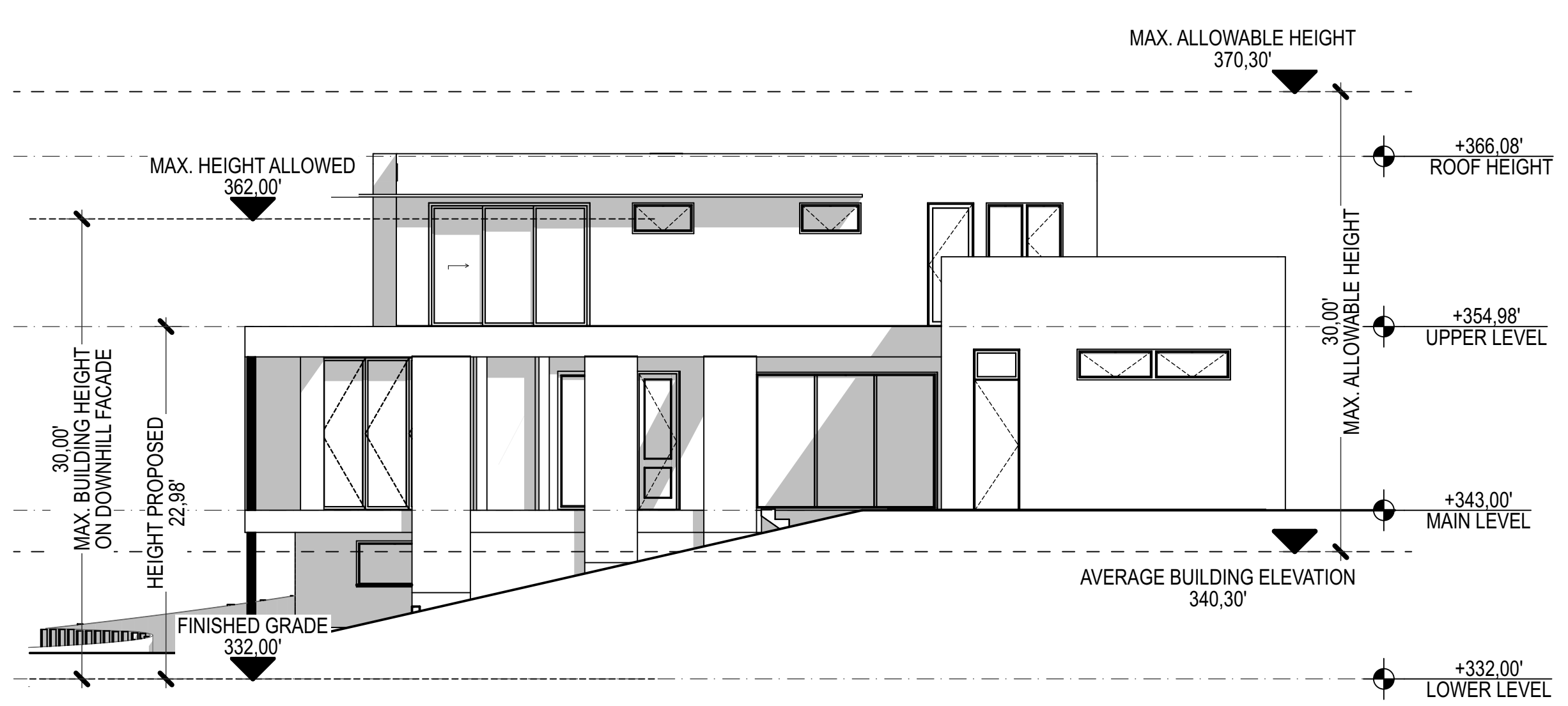
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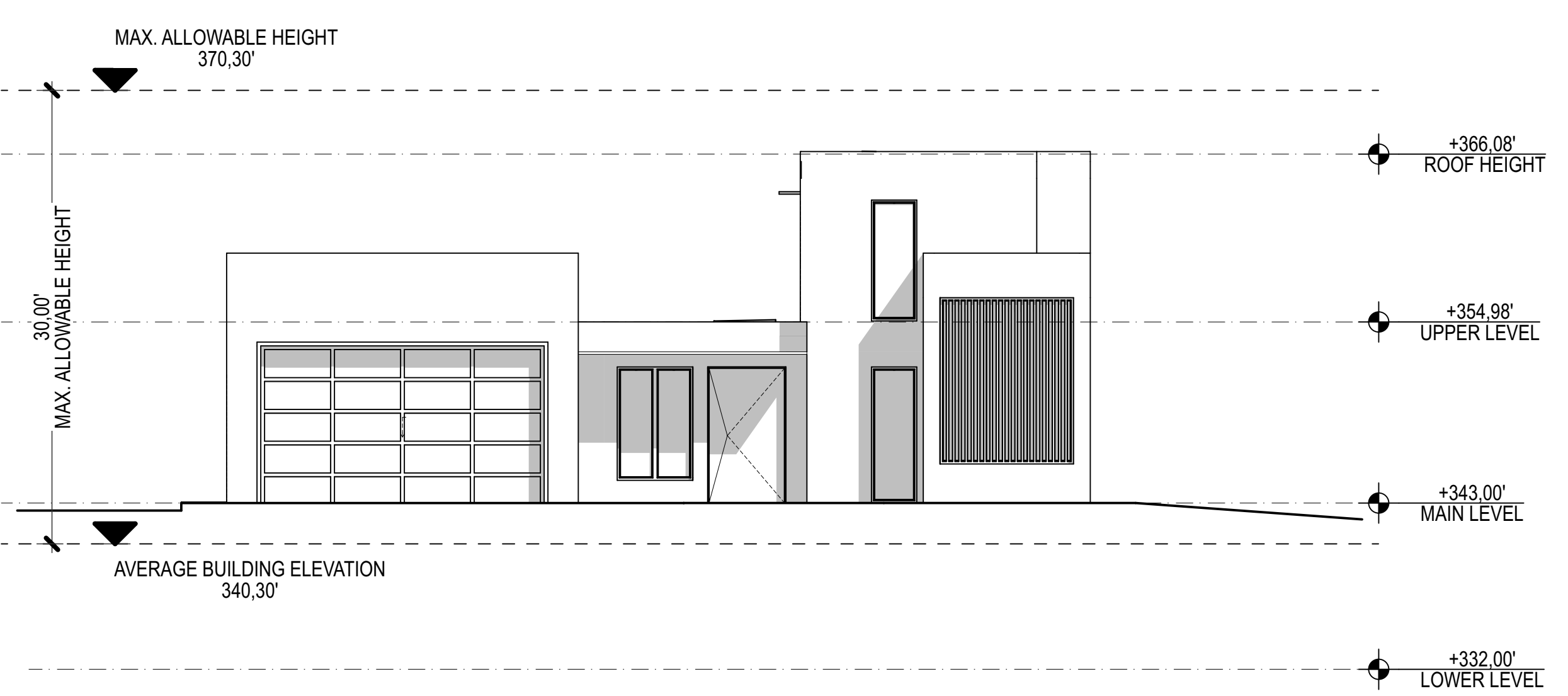
4 MAXIMUM BUILDING HEIGHT - WEST ELEVATION 1/8" = 1'-0"



2 MAXIMUM BUILDING HEIGHT - SOUTH ELEVATION 1/8" = 1'-0"



3 MAXIMUM BUILDING HEIGHT - EAST ELEVATION 1/8" = 1'-0"



1 MAXIMUM BUILDING HEIGHT - NORTH ELEVATION 1/8" = 1'-0"

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19.02.020.F.3. LOT COVERAGE

19.02.020.F.3.A MINIMUM AREA REQUIRED
DEVELOPMENT PROPOSALS FOR SING-FAMILY DWELLINGS SHALL COMPLY WITH THE FOLLOWING STANDARDS BASED ON THE NET LOT AREA

Lot Slope	Maximum Lot Coverage (house, driving surfaces, and accessory buildings)	Required Landscaping Area
Less than 15%	40%	60%
15% to less than 30%	35%	65%
30% to 50%	30%	70%
Greater than 50% slope	20%	80%

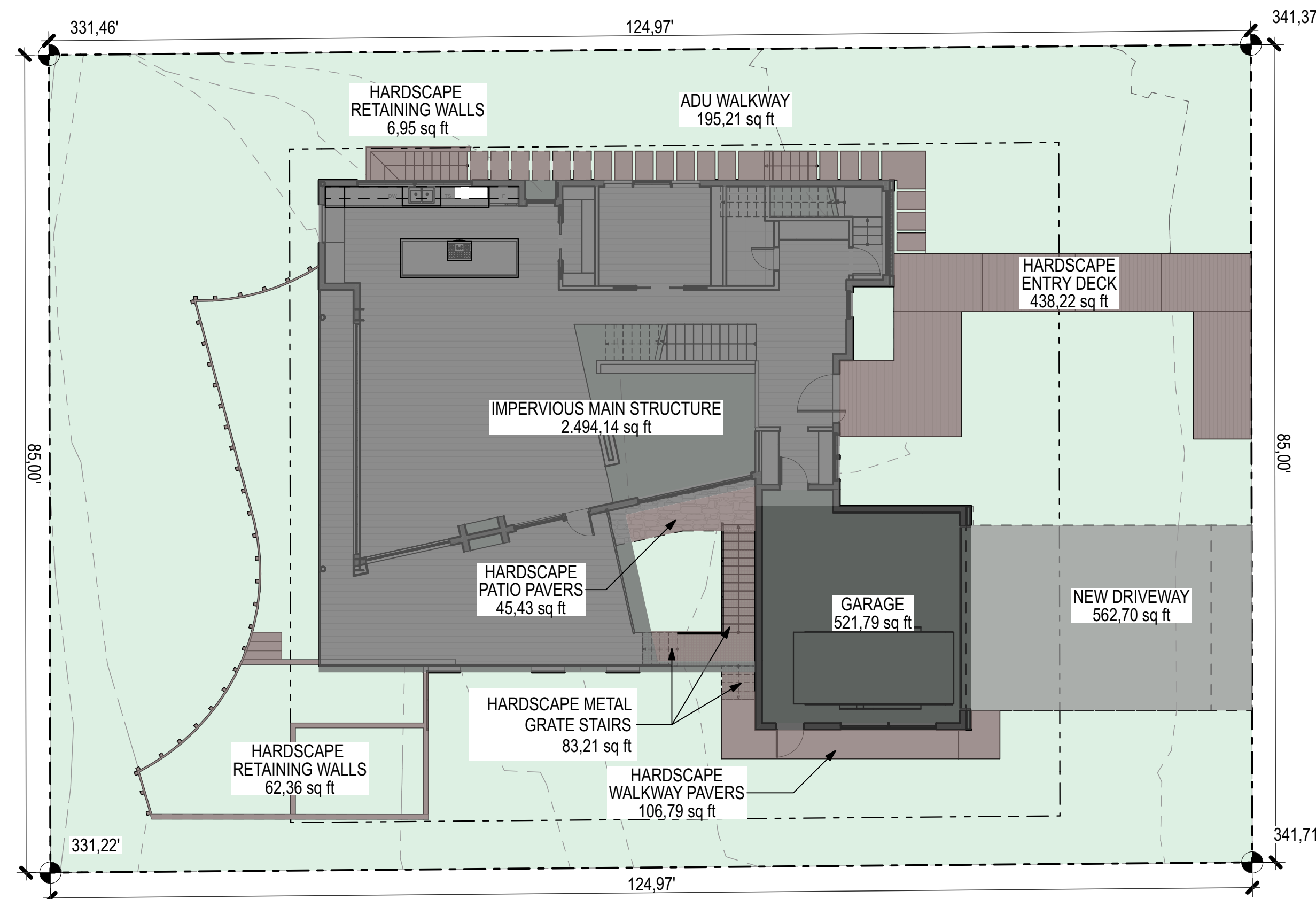
OVERALL LOT SLOPE CALCULATION

HIGHEST POINT - LOWEST POINT = HEIGHT OF TERRAIN X 100
SIDE LENGTH

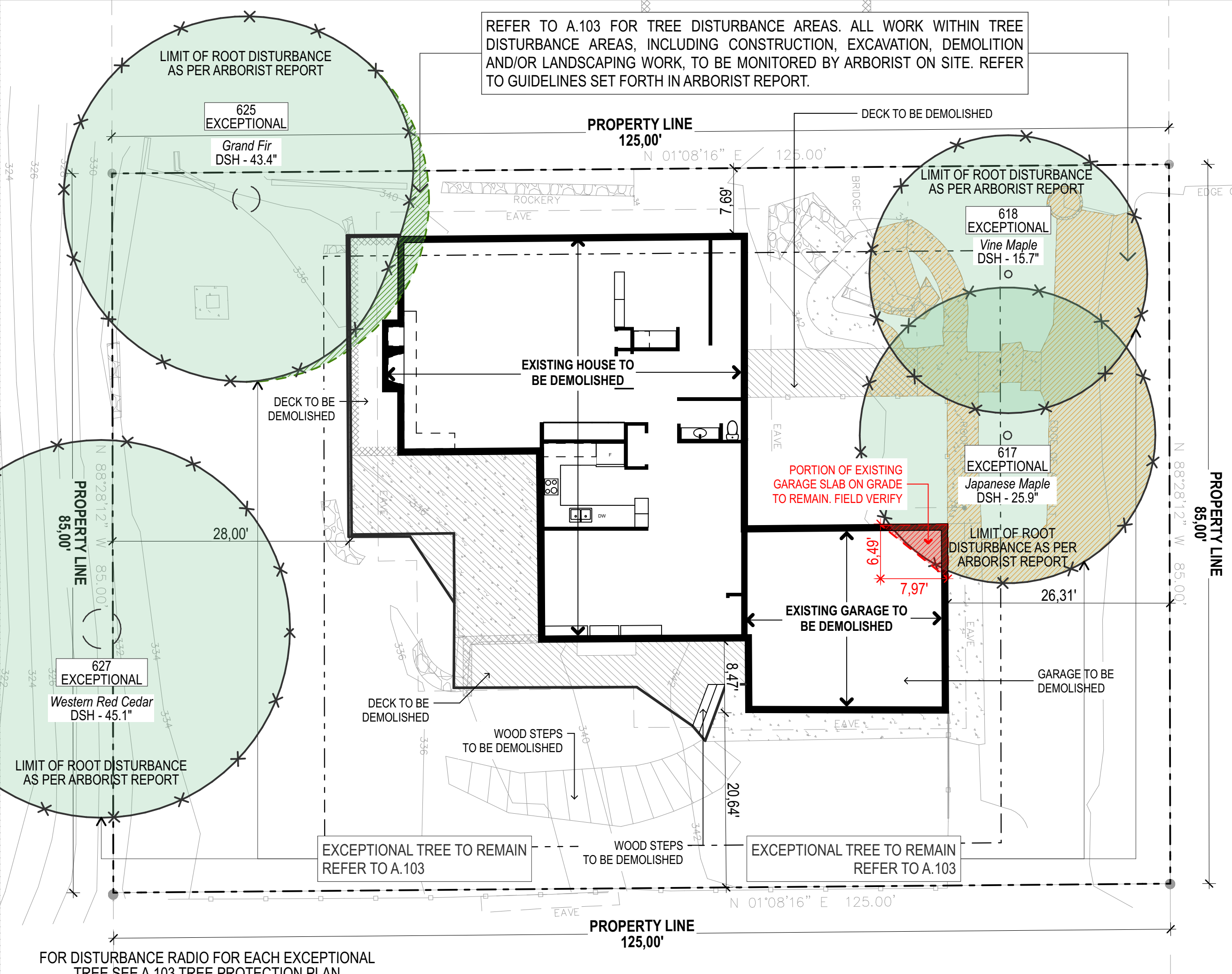
$$\frac{341.71' - 331.22'}{124.97'} = 8.39\% \text{ LOT SLOPE}$$

19.02.020.F.3.B HARDSCAPE
i. A MAXIMUM OF NINE PERCENT OF THE NET LOT AREA MAY CONSIST OF HARDSCAPE IMPROVEMENTS INCLUDING, BUT NOT LIMITED TO, WALKWAYS, DECKS, ETC.
ii. HARDSCAPE IMPROVEMENTS ARE ALSO PERMITTED IN THE MAXIMUM LOT COVERAGE AREA ESTABLISHED IN SUBSECTION (F)(3)(A) OF THIS SECTION.

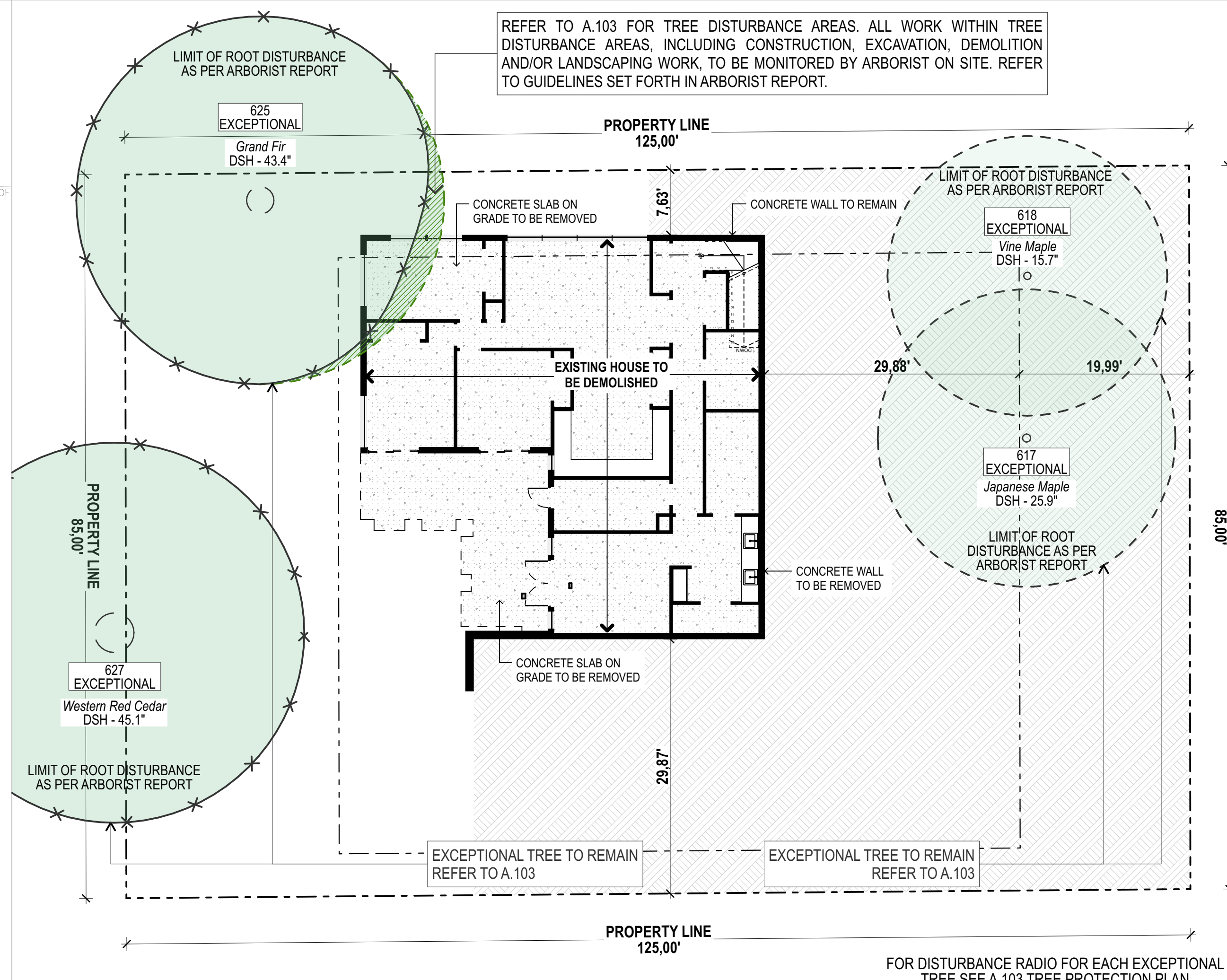
LOT COVERAGE CALCULATIONS		
IMPERVIOUS SURFACES 100%	AREA	AREA INCLUDED
MAIN STRUCTURE	2,494.14	2,494.14
GARAGE	521.79	521.79
NEW DRIVEWAY	562.70	562.70
SUBTOTAL	3,578.63	3,578.63
TOTAL PROPOSED		3,578.63
TOTAL ALLOWED (10,625 SF * 40%)		4,250.00
HARDSCAPE SURFACES		
AREA	AREA INCLUDED	
ENTRY DECK	438.22	438.22
ADU WALKWAY	195.21	195.21
WALKWAY PAVERS	106.79	106.79
METAL GRATE STAIRS	83.21	83.21
PATIO PAVERS	45.43	45.43
RETAINING WALLS	69.31	69.31
SUBTOTAL	938.17	938.17
TOTAL PROPOSED		938.17
TOTAL ALLOWED (10,625 SF * 9%)		956.25



3 LOT COVERAGE - GROUND LEVEL 3/32" = 1'-0"



2 DEMOLITION PLAN - GROUND LEVEL 3/32" = 1'-0"



2 DEMOLITION PLAN - BASEMENT LEVEL 3/32" = 1'-0"

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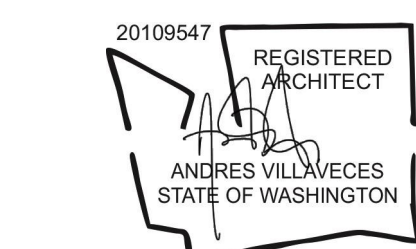
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Sheet Size:
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Drawing Title:
SITE PLAN - GROUND

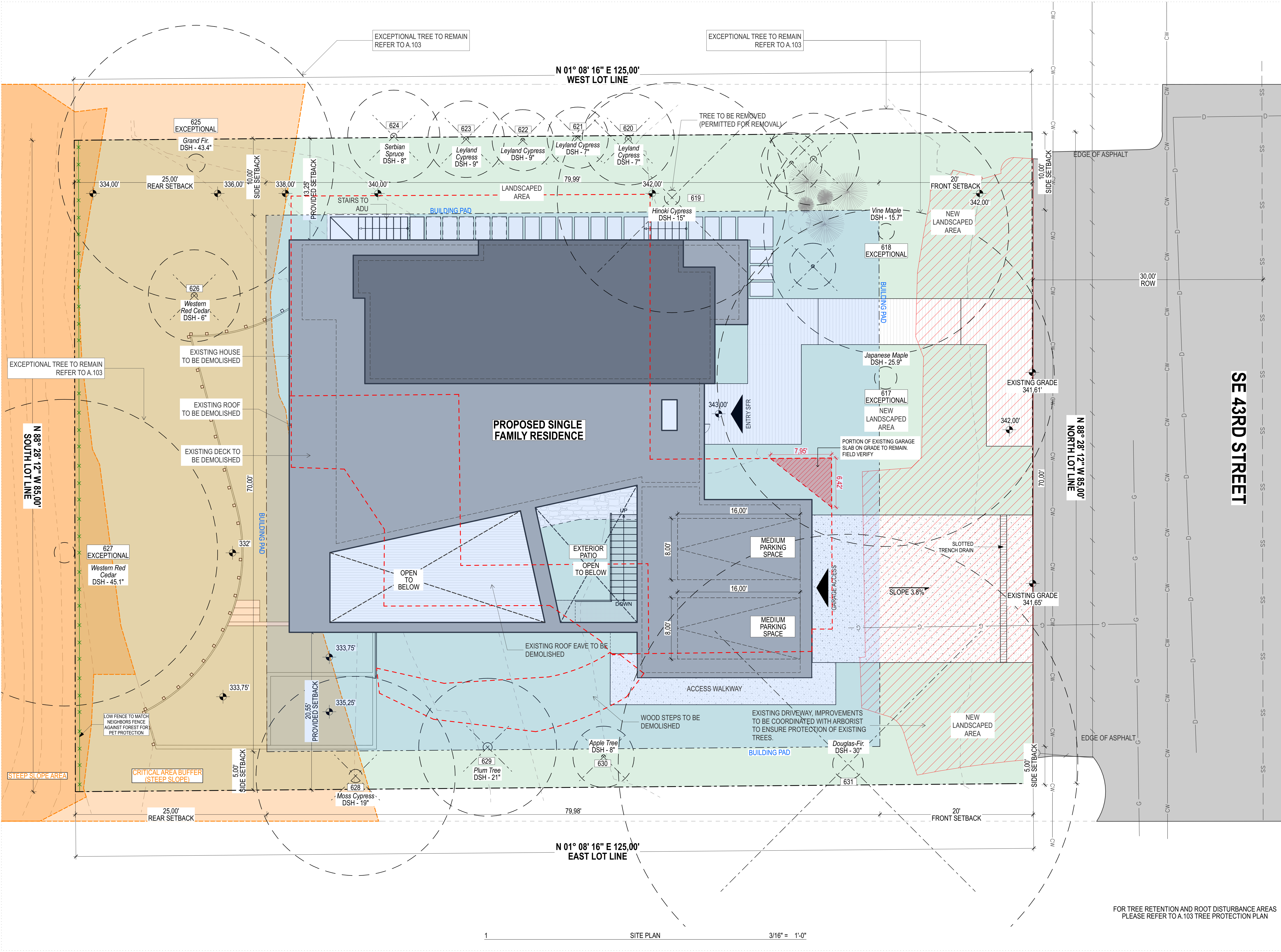
Drawing Status:
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 01/04/2021

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Revision:
 01

SHEET NAME



FOR TREE RETENTION AND ROOT DISTURBANCE AREAS
 PLEASE REFER TO A.103 TREE PROTECTION PLAN

A.100

LEGAL DESCRIPTION

(PER STATUTORY WARRANTY DEED, RECORDING# 20190301000525) LOT 10, MERCERWOOD DIVISION NO. 5, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 57 OF PLATS, PAGE 28, RECORDS OF KING COUNTY, WASHINGTON.

BASIS OF BEARINGS

N88°28'12"W BETWEEN SURVEY MONUMENT FOUND AND HELD AS SHOWN HEREON, PER R4.

REFERENCES

- R1 ANDERSON PARK, RECORDED IN VOLUME 51 OF PLATS, PAGE 53, RECORDS OF KING COUNTY, WASHINGTON.
R2 MERCERWOOD DIVISION NO. 5, RECORDED IN VOLUME 57 OF PLATS, PAGE 28, RECORDS OF KING COUNTY, WASHINGTON.
R3 ANDERSON PARK REPLAT, RECORDED IN VOLUME 57 OF PLATS, PAGE 99, RECORDS OF KING COUNTY, WASHINGTON.
R4 RECORD OF SURVEY, RECORDED IN BOOK 102 OF SURVEYS, PAGE 87, RECORDS OF KING COUNTY, WASHINGTON.
R5 RECORD OF SURVEY, RECORDED IN BOOK 129 OF SURVEYS, PAGE 147, RECORDS OF KING COUNTY, WASHINGTON.
R6 RECORD OF SURVEY, RECORDED IN BOOK 132 OF SURVEYS, PAGE 227, RECORDS OF KING COUNTY, WASHINGTON.

VERTICAL DATUM

NAVD(88) PER MERCER ISLAND BENCHMARK NO. 2155 FOUND CASED CONCRETE MONUMENT @ INTX. OF S.E. 43RD ST. & 93RD AVE. S.E. ELEV: 344.82'

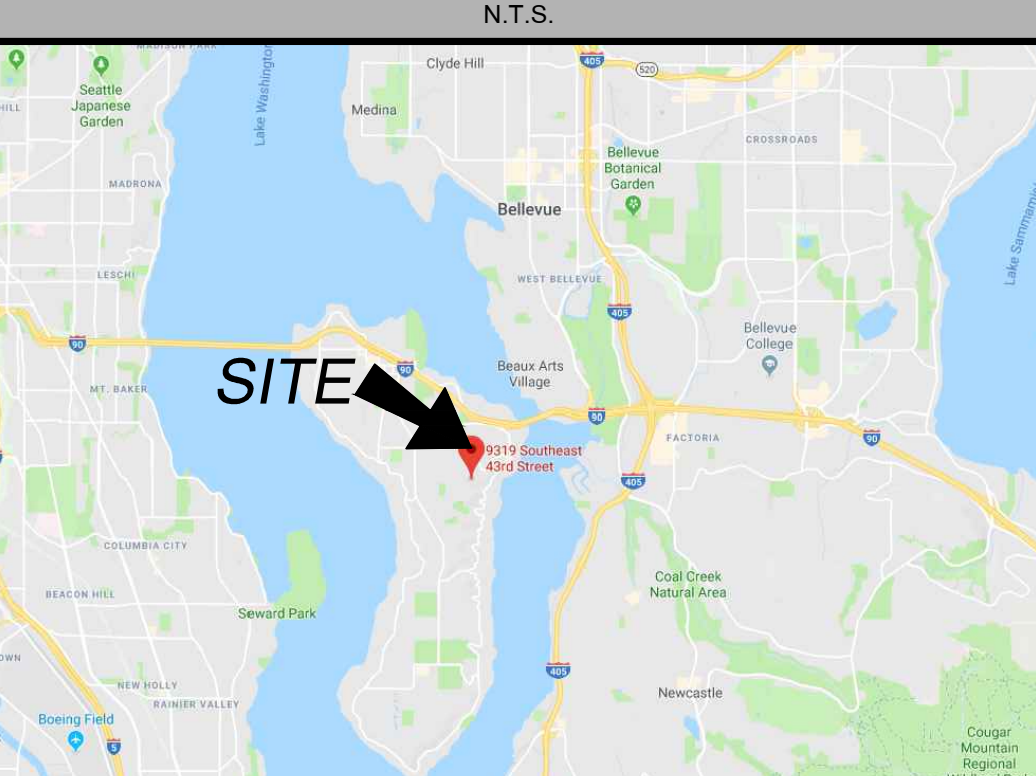
SURVEYOR'S NOTES

- 1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN MARCH OF 2019. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
3. THE TYPES AND LOCATIONS OF ANY UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED TO US, BY OTHERS OR GENERAL INFORMATION READILY AVAILABLE IN THE PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENTIFYING MARKINGS PLACED BY UTILITY LOCATE SERVICES AND OBSERVED BY TERRANE IN THE FIELD. AS SUCH, THE UTILITY INFORMATION SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE RELIED ON FOR DESIGN OR CONSTRUCTION PURPOSES. TERRANE IS NOT RESPONSIBLE OR LIABLE FOR THE ACCURACY OR COMPLETENESS OF THIS UTILITY INFORMATION. FOR THE ACCURATE LOCATION AND TYPE OF UTILITIES NECESSARY FOR DESIGN AND CONSTRUCTION, PLEASE CONTACT THE SITE OWNER AND THE LOCAL UTILITY LOCATE SERVICE (800-424-5555).
4. SUBJECT PROPERTY TAX PARCEL NO. 545990-0050.
5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 10,625 ± S.F. (0.24 ACRES)
6. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST THAT ARE NOT SHOWN HEREON.
7. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 5-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.

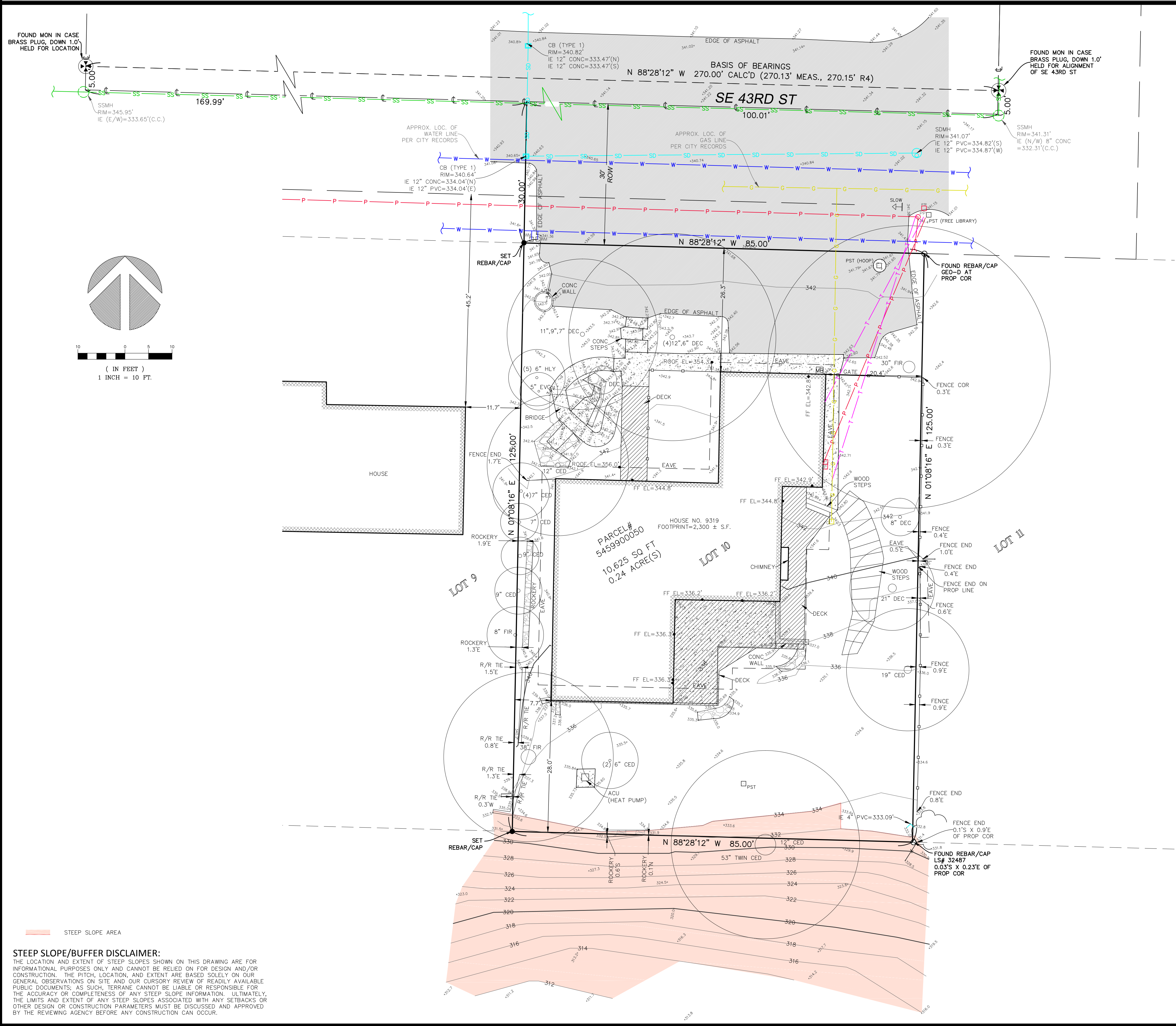
LEGEND

Table with 2 columns: Symbol and Description. Includes entries for ASPHALT SURFACE, BUILDING, CENTERLINE ROW, CULVERT PIPE, CONCRETE SURFACE, RETAINING WALL, DECK, FENCE LINE (CHAIN LINK), FENCE LINE (WOOD), GAS LINE, GAS METER, GUY ANCHOR, HEDGE FOLIAGE LINE, INLET (TYPE 1), MAILBOX (RESIDENTIAL), MONUMENT IN CASE (FOUND), POST, POWER METER, POWER (OVERHEAD), POWER POLE, POWER TRANSFORMER, REBAR AS NOTED (FOUND), REBAR & CAP (SET), ROCKERY, SEWER LINE, SEWER MANHOLE, SIGN (AS NOTED), STORM MANHOLE, STORM DRAIN LINE, TELEPHONE (OVERHEAD), TREE (AS NOTED), WATER LINE.

VICINITY MAP



TOPOGRAPHIC & BOUNDARY SURVEY



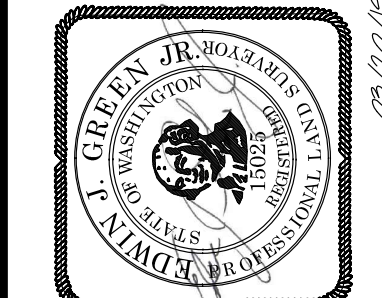
STEEP SLOPE/BUFFER DISCLAIMER: THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR CONSTRUCTION. THE PITCH, LOCATION, AND EXTENT ARE BASED SOLELY ON OUR GENERAL OBSERVATIONS ON SITE AND OUR CURSORY REVIEW OF READILY AVAILABLE PUBLIC DOCUMENTS; AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. ULTIMATELY, THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.

measure success



Design METRICA LLC 500 YALE AVE N, FLOOR 1 SEATTLE WA 98109
Owner LEO & ROUSLANA YAROSLAVSKY 9319 SE 43RD ST MERCER ISLAND, WA 98040
Architect Stamp

TOPOGRAPHIC & BOUNDARY SURVEY SW 1/4 OF NE 1/4 SEC 18 TWP. 24N., R9E D5E., W.M. PARCEL NO. 5459900050
YAROSLAVSKY RESIDENCE 9319 SE 43RD ST MERCER ISLAND, WA 98040



Terrane 10801 Main Street, Suite 102, Bellevue, WA 98004 phone 425.458.4488 support@terrane.net www.terrane.net

Table with 2 columns: Title and Project North. Includes Project Name: YAROSLAVSKY RESIDENCE, True North, Project North, and Revision History.

Table with 2 columns: Field and Value. Includes JOB NUMBER: 190381, DATE: 03/17/2019, DRAFTED BY: RSN, CHECKED BY: E.JG/TMM, SCALE: 1" = 10', REVISION HISTORY, SHEET NUMBER: 1 OF 1.

Table with 2 columns: Field and Value. Includes Sheet Size: 24" x 36", Drawing Title: SITE SURVEY, Drawing Status: PERMIT SET, Issue Date: 31/03/2021, Issue: SCHEMATIC DESIGN PACKAGE, Revision: 01, SHEET NAME.

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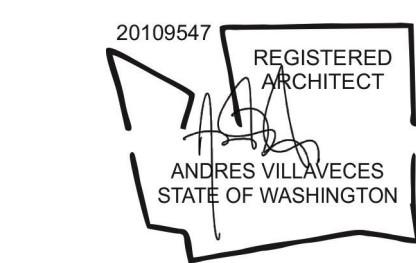
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Drawing Title:
LANDSCAPE PLAN

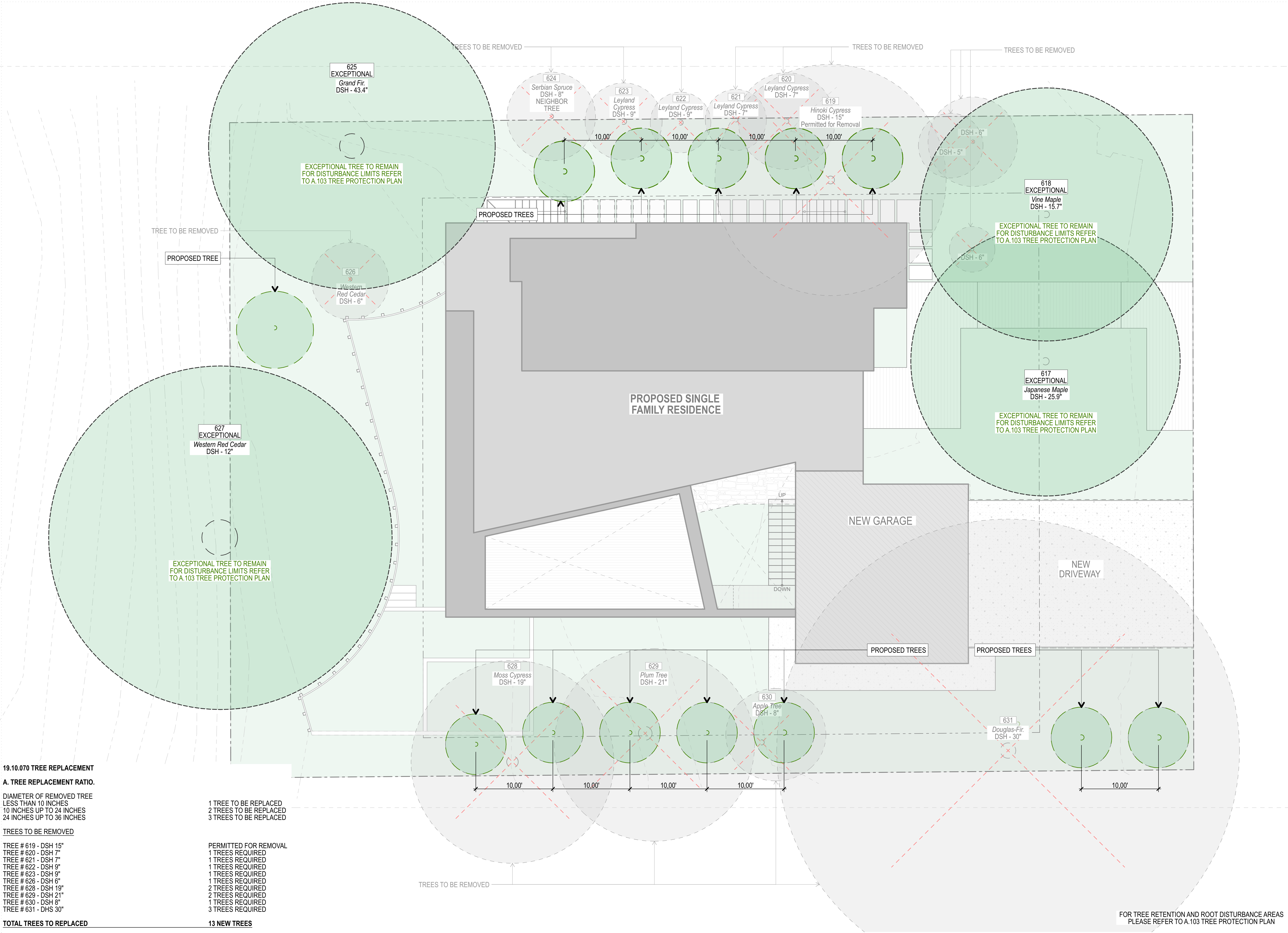
Drawing Status:
PERMIT SET

Issue Date:
 31/03/2021

Issue:
 SCHEMATIC DESIGN PACKAGE

Revision:
 01

SHEET NAME



19.10.070 TREE REPLACEMENT

A. TREE REPLACEMENT RATIO.

DIAMETER OF REMOVED TREE
 LESS THAN 10 INCHES
 10 INCHES UP TO 24 INCHES
 24 INCHES UP TO 36 INCHES

TREES TO BE REPLACED

1 TREE TO BE REPLACED
 2 TREES TO BE REPLACED
 3 TREES TO BE REPLACED

TREES TO BE REMOVED

TREE # 619 - DSH 15"
 TREE # 620 - DSH 7"
 TREE # 621 - DSH 7"
 TREE # 622 - DSH 9"
 TREE # 623 - DSH 9"
 TREE # 626 - DSH 6"
 TREE # 628 - DSH 19"
 TREE # 629 - DSH 21"
 TREE # 630 - DSH 8"
 TREE # 631 - DHS 30"

PERMITTED FOR REMOVAL

1 TREES REQUIRED
 1 TREES REQUIRED
 1 TREES REQUIRED
 1 TREES REQUIRED
 1 TREES REQUIRED
 1 TREES REQUIRED
 2 TREES REQUIRED
 1 TREES REQUIRED
 3 TREES REQUIRED

TOTAL TREES TO REPLACED

13 NEW TREES

FOR TREE RETENTION AND ROOT DISTURBANCE AREAS
 PLEASE REFER TO A.103 TREE PROTECTION PLAN

PROJECT ZERO & BUILDING ELEVATIONS	TRUE ELEVATION	ELEVATION TO PROJECT ZERO
PROJECT ZERO:	+343.00	+0.00
AVERAGE BUILDING ELEVATION:	+340.30	-2.70
GROUND LEVEL:	+343.00	+0.00
MAXIMUM BUILDING HEIGHT:	+370.30	+27.30
MAXIMUM BUILDING HEIGHT (ROOF HEIGHT EXCEPTIONS):	+370.30	+27.30
ACTUAL BUILDING HEIGHT:	+386.25	+23.25

NOTE: ALL DIMENSION TO PROJECT ZERO, UCN.

- GENERAL NOTES**
- PERMIT DRAWINGS ARE NOT CONSTRUCTION DRAWINGS.
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Design
MÉTRICA LLC
 500 YALE AVE N, FLOOR 1
 SEATTLE WA 98109

Owner
LEO & ROUSLANA YAROSLAVSKY
 9319 SE 43RD ST
 MERCER ISLAND, WA 98040

Architect Stamp



Project Name
YAROSLAVSKY RESIDENCE
 9319 SE 43RD ST
 MERCER ISLAND, WA 98040

True North | Project North

Revision History

Sheet Size:
 24" x 36"

Drawing Title:
TREE PROTECTION PLAN

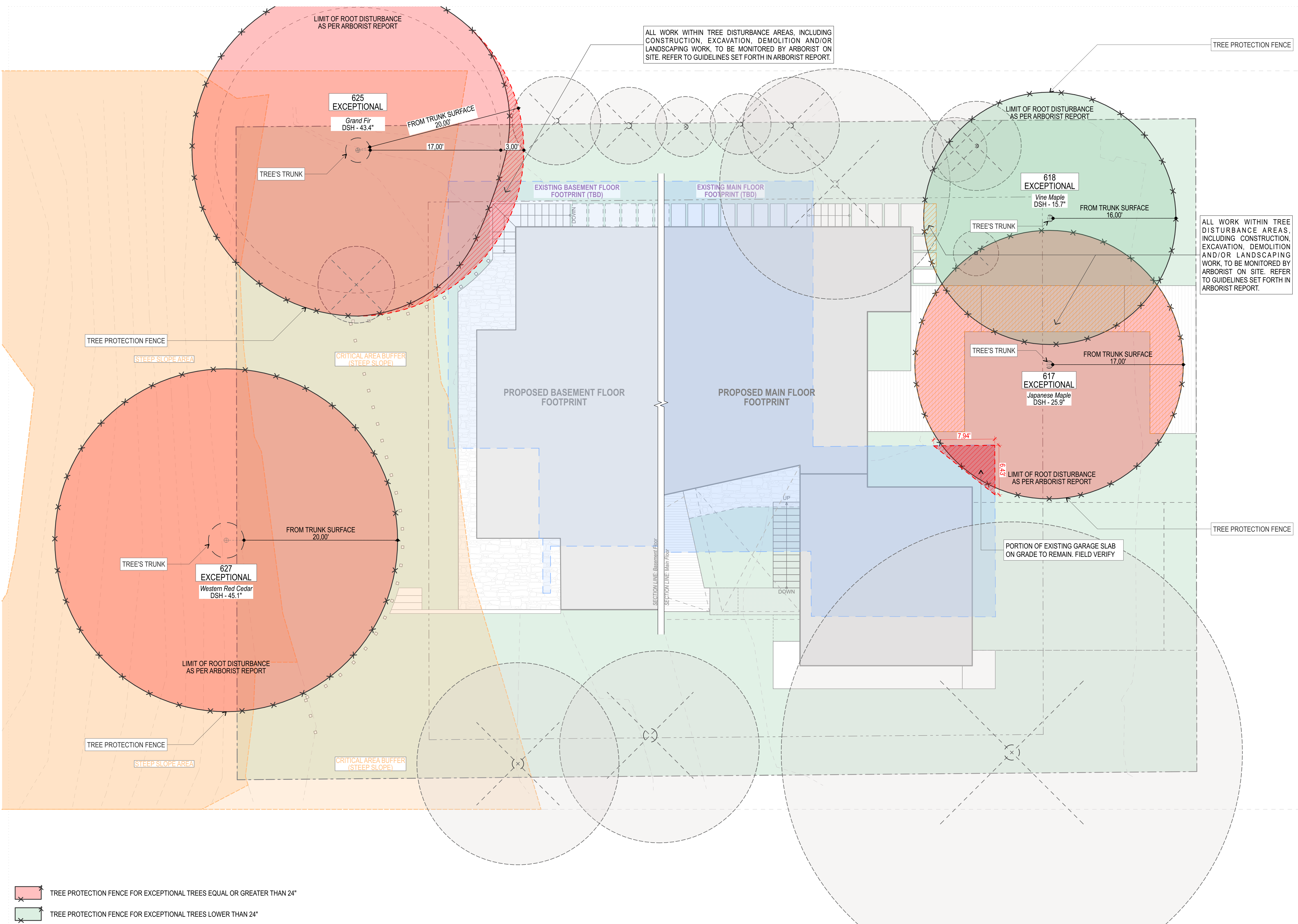
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 01/04/2021

Issue:

Revision:

SHEET NAME



ALL WORK WITHIN TREE DISTURBANCE AREAS, INCLUDING CONSTRUCTION, EXCAVATION, DEMOLITION AND/OR LANDSCAPING WORK, TO BE MONITORED BY ARBORIST ON SITE. REFER TO GUIDELINES SET FORTH IN ARBORIST REPORT.

TREE PROTECTION FENCE

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TREE PROTECTION FENCE

- TREE PROTECTION FENCE FOR EXCEPTIONAL TREES EQUAL OR GREATER THAN 24"
- TREE PROTECTION FENCE FOR EXCEPTIONAL TREES LOWER THAN 24"

YAROSLAVSKY RESIDENCE

SW1/4, NE1/4, SEC. 18, TWP. 24 N., RGE. 5 E., W.M.

PROJECT TEAM

OWNER:
LEO & ROUSLANA YAROSLAVSKY
9319 SE 43RD ST
MERCER ISLAND, WA 98040

ARCHITECT (PRIMARY CONTACT):
METRICA LLC
JUAN PABLO LEON
500 YALE AVE N, FLOOR 1
SEATTLE, WA 98109
PH: 57.320.272.3477
EMAIL: JPL@METRICALUS

PROJECT ENGINEER:
PATRICK HARRON & ASSOCIATES, LLC
SCHWINN CHAOSLAPAKUL, PE
14900 INTERURBAN AVENUE S #279
SEATTLE, WA 98109
PH: 206.674.4659
EMAIL: SCHWINN@PATRICKHARRON.COM

PROJECT SURVEYOR:
TERRANE
EDWIN GREEN, JR.
10801 MAIN STREET, STE 102
BELLEVUE, WA 98004
PH: 425.458.4488
EMAIL: WWW.TERRANE.NET

GEOTECH:
COBALT GEOSCIENCES
PHILIP HABERMAN
PO BOX 82243
KENMORE, WA 98028
PH: 206.331.1097
EMAIL: COBALTGEOTECH@GMAIL.COM

ARBORIST:
TREE SOLUTIONS INC.
JOSEPH SUTTON-HOLCOMB, CA
2940 WESTLAKE AVE N, STE 200
SEATTLE, WA 98109
PH: 206.528.4670

PROJECT INFORMATION

LEGAL DESCRIPTION:
(PER STATUTORY WARRANTY DEED, RECORDING# 20190301000525)
LOT 10, MERCERWOOD DIVISION NO. 5, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 57 OF PLATS, PAGE 28, RECORDS OF KING COUNTY, WASHINGTON.

SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

VERTICAL DATUM:
NAVD(88) PER MERCER ISLAND BENCHMARK NO. 2155
FOUND CASED CONCRETE MONUMENT @ INTX. OF S.E. 43RD ST. & 93RD AVE. S.E.
ELEV: 344.82'

BASIS OF BEARINGS:
N88°28'12"W BETWEEN SURVEY MONUMENT FOUND AND HELD AS SHOWN HEREON, PER R4.

SITE DATA:

DEVELOPMENT DATA:

SITE AREA: 10,625 SF (0.244 AC)
SITE ADDRESS: 9319 SE 43RD ST
MERCER ISLAND, WA 98040
PARCEL NUMBER: 545990-0050
ZONED: R-9.6

BUILDING SETBACKS:
FRONT YARD (N): 20'
REAR YARD (S): 25'
SIDE YARD (W): 5'/10'

UTILITIES:

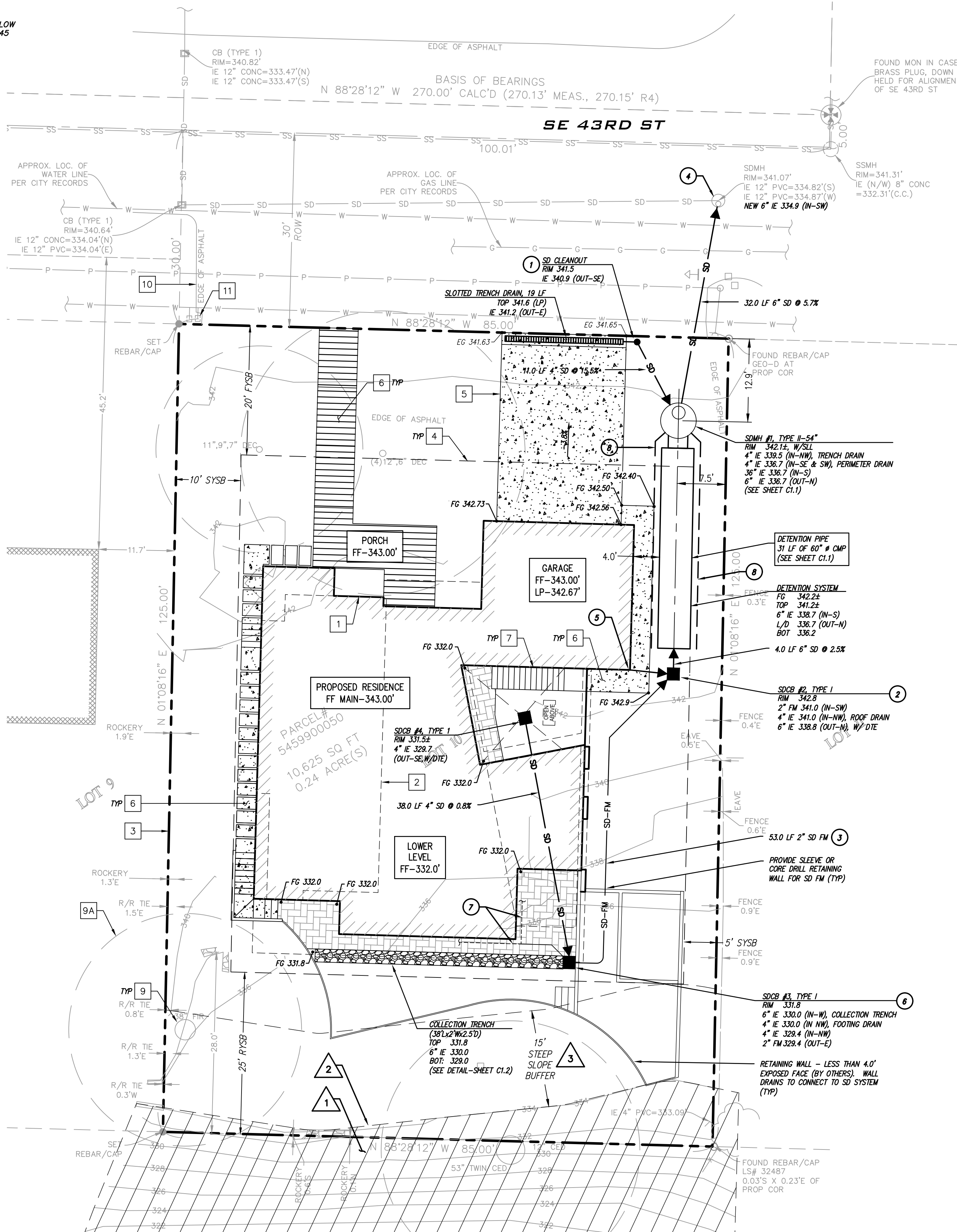
SEWER: KING COUNTY
WATER: MERCER ISLAND PUBLIC WORKS
POWER: PUGET SOUND ENERGY
SCHOOLS: MERCER ISLAND #400
FIRE: MERCER ISLAND FIRE DEPARTMENT

LEGEND

- SET 1/2" X 24" REBAR WITH YELLOW PLASTIC CAP STAMPED "MGA 35145 48363"
- FOUND CORNER
- ⊕ FOUND MONUMENT
- ⊕ TEMPORARY BENCHMARK
- ⊕ GAS VALVE
- ⊕ ELECTRICAL JUNCTION BOX
- UTILITY POLE
- CATCH BASIN - TYPE I
- CATCH BASIN - TYPE II
- ⊕ STORM CLEANOUT
- ⊕ YARD DRAIN
- ⊕ SEWER MANHOLE
- ⊕ FIRE HYDRANT
- ⊕ HOSE BIB
- ⊕ WATER METER
- ⊕ WATER VALVE
- ⊕ BOLLARD
- ⊕ SIGN
- ⊕ SOIL TEST PIT
- ⊕ CONIFEROUS TREE
- ⊕ DECIDUOUS TREE
- ASPHALT
- FENCE LINE
- OVERHEAD POWER LINES
- SANITARY SEWER LINE
- STORM DRAIN LINE
- GAS LINE
- WATER MAIN
- ASPHALT HATCH
- CONCRETE HATCH
- DECK HATCH
- GRAVEL HATCH

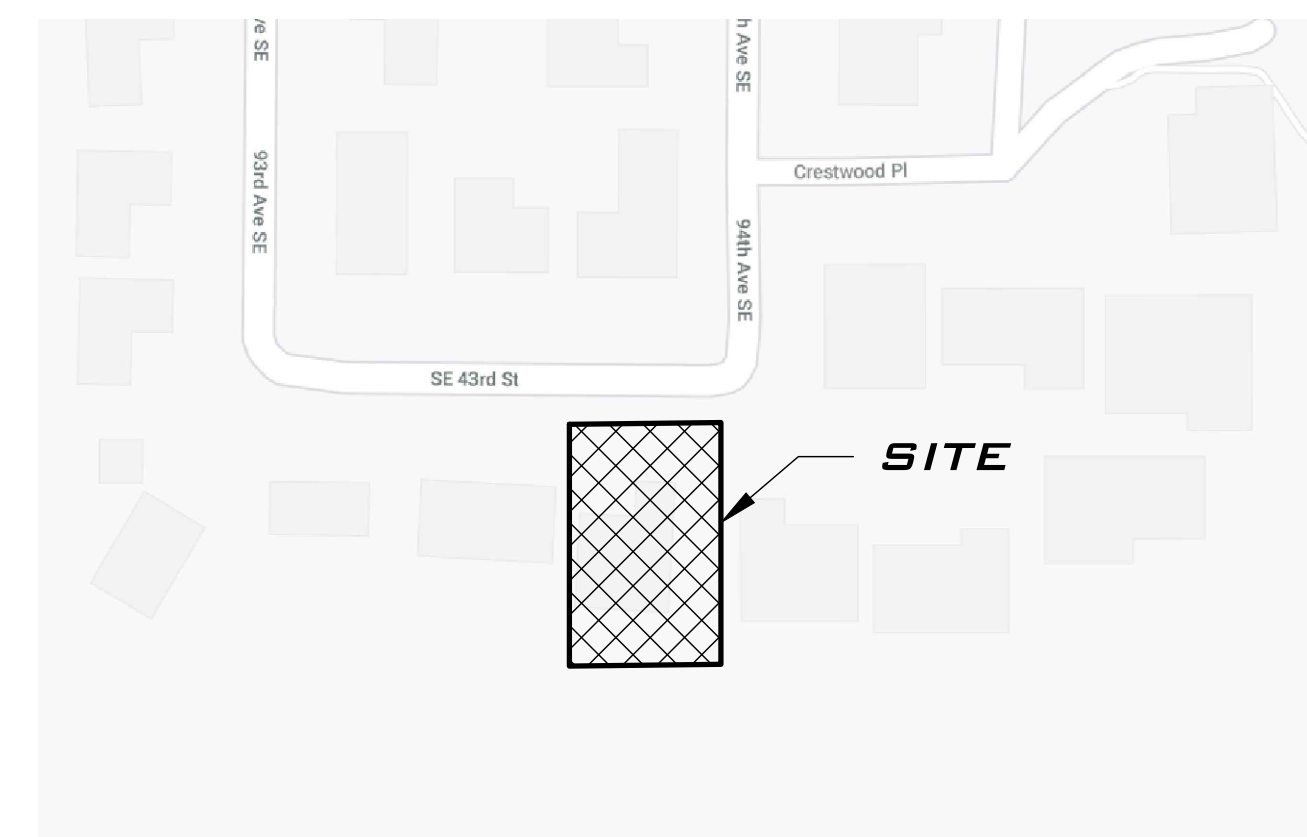
ABBREVIATIONS:

- | | |
|-------------|--------------------------------|
| APPROX ASPH | APPROXIMATELY ASPHALT |
| BC | BOTTOM OF CURB |
| BOT | BOTTOM |
| C | CEDAR |
| CB | CATCH BASIN |
| CONC | CONCRETE |
| CS | CONC SLAB |
| D | DECIDUOUS |
| DF | DRAINFIELD |
| DTE | DOWN-TURNED ELBOW |
| DWS | DESIGN WATER SURFACE |
| E | ELM |
| ECA | ENVIRONMENTALLY CRITICAL AREA |
| EG | EXISTING GRADE |
| ELEV | ELEVATION |
| EX | EXISTING |
| FD | FOOTING DRAIN |
| FF | FINISH FLOOR |
| FG | FINISH GRADE |
| FL | FLOW LINE |
| FY | FRONT YARD |
| H | HEMLOCK |
| HP | HIGH POINT |
| IE | INVERT ELEVATION (PIPE INVERT) |
| L/D | LIVE/DEAD STORAGE INTERFACE |
| LP | LOW POINT |
| M | MAPLE |
| N/S | NOT TO SCALE |
| OW | OBSERVATION WELL |
| RD | ROOF DRAIN |
| RY | REAR YARD |
| SB | BUILDING SETBACK |
| SS | SANITARY SEWER |
| SSCO | SANITARY SEWER CLEANOUT |
| SSMH | SANITARY SEWER MANHOLE |
| ST | STAIRS |
| TYP | TYPICAL |
| SDCO | STORM DRAIN CLEANOUT |
| SDMH | STORM DRAIN MANHOLE |
| SD | SEDIMENT STORAGE |
| SLS | SOLID LOCKING LID |
| SY | SIDE YARD |
| T/D | TRENCH DRAIN |
| UP | UP-TURNED ELBOW |
| WA | WATER |



SITE STORM & UTILITY PLAN

SCALE: 1"=10'



VICINITY MAP

Proposed Hard Surface Summary		
Description	Area (sf)	Area (ac)
Total Property	10,625	0.244
House & Garage Roof	2,627	0.060
Driveway	562	0.013
Walkway & Open Patio	358	0.008
Uncovered Deck	317	0.007
Deck Roof	138	0.003
Total Proposed Hard Surface	4,002	0.092
Total Pervious Surface (Lawn)	6,623	0.152

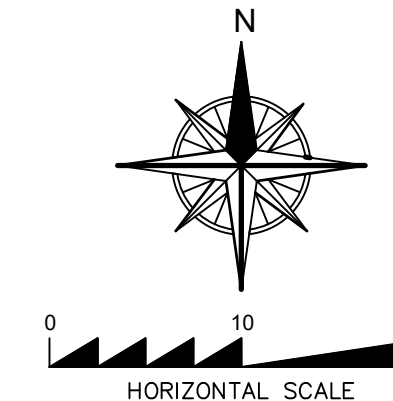
- ### CRITICAL AREAS CALLOUTS:
- ECA STEEP SLOPES ≥ 40%
 - ECA TOP OF STEEP SLOPE
 - ECA STEEP SLOPE BUFFER - 15 FT.

- ### SITE, WATER, & SEWER CALLOUTS:
- PROPOSED BUILDING FOOTPRINT, TYP.
 - PROPOSED BUILDING ROOFLINE, TYP.
 - PROPERTY BOUNDARY.
 - BUILDING SETBACK LINE.
 - PROPOSED CONCRETE DRIVEWAY.
 - PROPOSED HARDSCAPES.
 - PROPOSED STAIRS.
 - NOT USED.
 - EXISTING TREES, PROTECT-IN-PLACE UNLESS OTHERWISE NOTED, TYP. REFER TO ARCHITECTURAL PLANS FOR TREE PROTECTION.
 - EXISTING TREES, PROTECT-ARCHITECTURAL PLANS FOR TREE PROTECTION.
 - EXISTING ASPHALT APPROACH.
 - EXISTING WATER SERVICE TO BE UTILIZED IF ADEQUATE. SIZE OF METER AND LINE TO BE VERIFIED FOR DOMESTIC AND FIRE SERVICE DEMANDS. MINIMUM 1" WATER METER AND 1.5" SUPPLY LINE (FROM METER TO HOUSE) FOR DOMESTIC AND FIRE SYSTEM. DOUBLE DETECTOR CHECK VALVE ASSEMBLY TO BE PROVIDED AS REQUIRED. IF NEW SERVICE CONNECTION TO THE MAIN IS REQUIRED, NEAT LINE SAW-CUT FOR WATER LINE TRENCHING AND RESTORE PAVEMENT PER PER CITY OF MERCER ISLAND STANDARDS. SEE SHEET C1.2.

- ### STORM CALLOUTS:
- STORM DRAIN CLEANOUT, TYP.
 - STORM DRAIN CATCH BASIN, TYP.
 - PROPOSED 2" FORCE MAIN.
 - CONNECT TO EXISTING STORM MANHOLE VIA NEW 6" PIPE (AS SHOWN).
 - CONNECT 4" PVC ROOF DRAIN TO SDCB #2.
 - SDCB #3 TO HOUSE SUBMERSIBLE PUMP WITH VISUAL AND AUDIBLE ALARM. PUMP AND FORCEMAIN SIZES PER MANUFACTURER. CAPACITY TO PUMP: 15 GPM (0.03 CFS) @ 15-FEET OF HEAD REQUIRED. ON ELEVATION (MAX) IS 330.0.
 - FOOTING DRAIN LOWEST EL. 330.0. CONNECTION TO SDCB #3.
 - 4" PERFORATED PVC PERIMETER DRAIN.

- ### STORM & UTILITY NOTES:
- LOCATE AND CONNECT EXISTING SIDE SEWER LINE, PER CITY OF MERCER ISLAND STANDARDS. COORDINATE WITH PUBLIC WORKS INSPECTOR FOR SCOPE AND RE-USE. GRINDER PUMP TO BE USED FOR PLUMBING THAT CANNOT GRAVITY DRAIN TO SEWER SERVICE CONNECTION. GRINDER PUMP BY OTHERS.
 - SOILS OF DISTURBED PERVIOUS AREAS TO BE AMENDED.

SHEET LIST		
SHEET #	NAME	DESCRIPTION
1	C1.0	SITE STORM & UTILITY PLAN
2	C1.1	STORM DRAINAGE DETAILS
3	C1.2	SITE DETAILS
4	C2.0	DEMOLITION, TESC PLAN & DETAILS



CALL 48 HOURS BEFORE YOU DIG 811

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 1-800-424-5555 OR 811 (CELL) A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

BY	
DESCRIPTION	
DATE	
R#	

03/31/21

BUILDING PERMIT

SITE STORM & UTILITY PLAN

PATRICK HARRON & ASSOCIATES, LLC
Civil Engineering & Planning
14900 Interurban Ave. S, Suite 279, Seattle, WA 98108
Phone: 206.674.4659 / Fax: 206.674.4660
Web: patrickharron.com

YAROSLAVSKY RESIDENCE
9319 SE 43RD ST, MERCER ISLAND, WA 98040

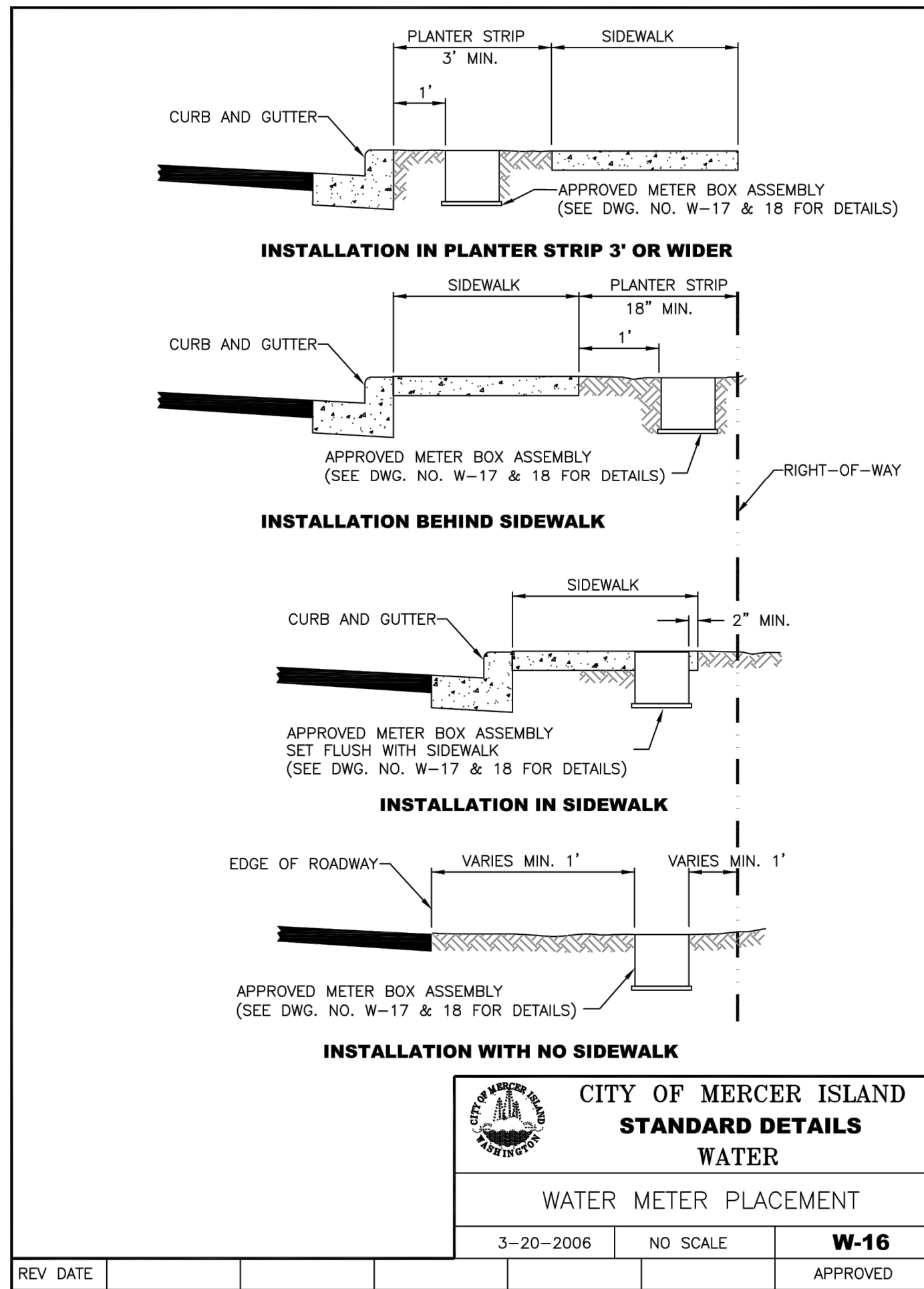
PROJ. NO:	20126	DSN. BY:	NM
DNW. BY:	MW	CHK. BY:	SC

DATE: 03/31/2021
SCALE: AS SHOWN
DRAWING NO: C1.0
1 of 4

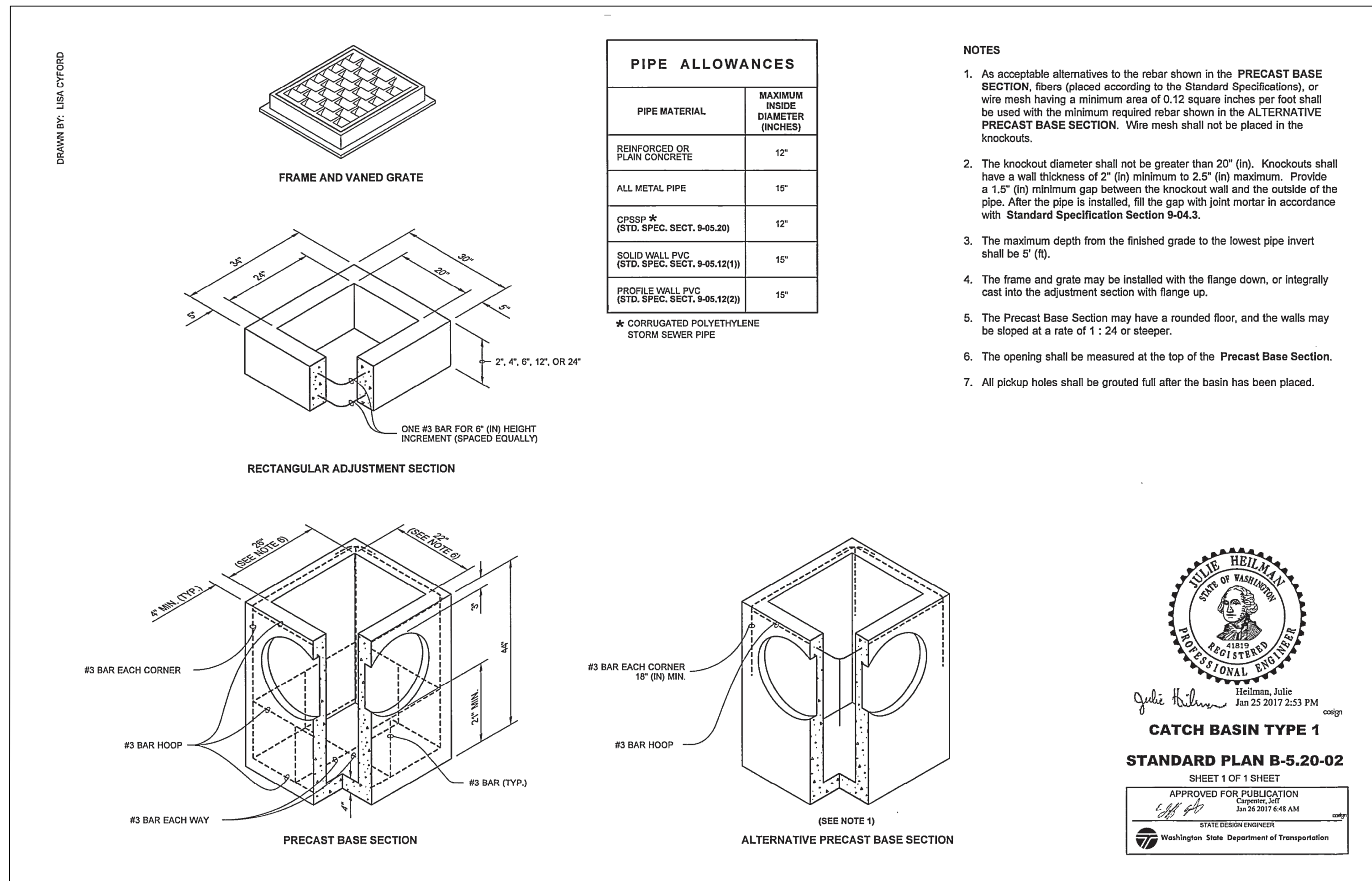
Mar 31, 2021 5:18:12PM - User: Chris Cole
 P:\2020\20126_Yaroslavsky Residence - Mercer Island\Working\Sheets\20126-C1.0 SITE STORM & UTILITY PLAN.dwg

YAROSLAVSKY RESIDENCE

SW1/4, NE1/4, SEC. 18, TWP. 24 N., RGE. 5 E., W.M.

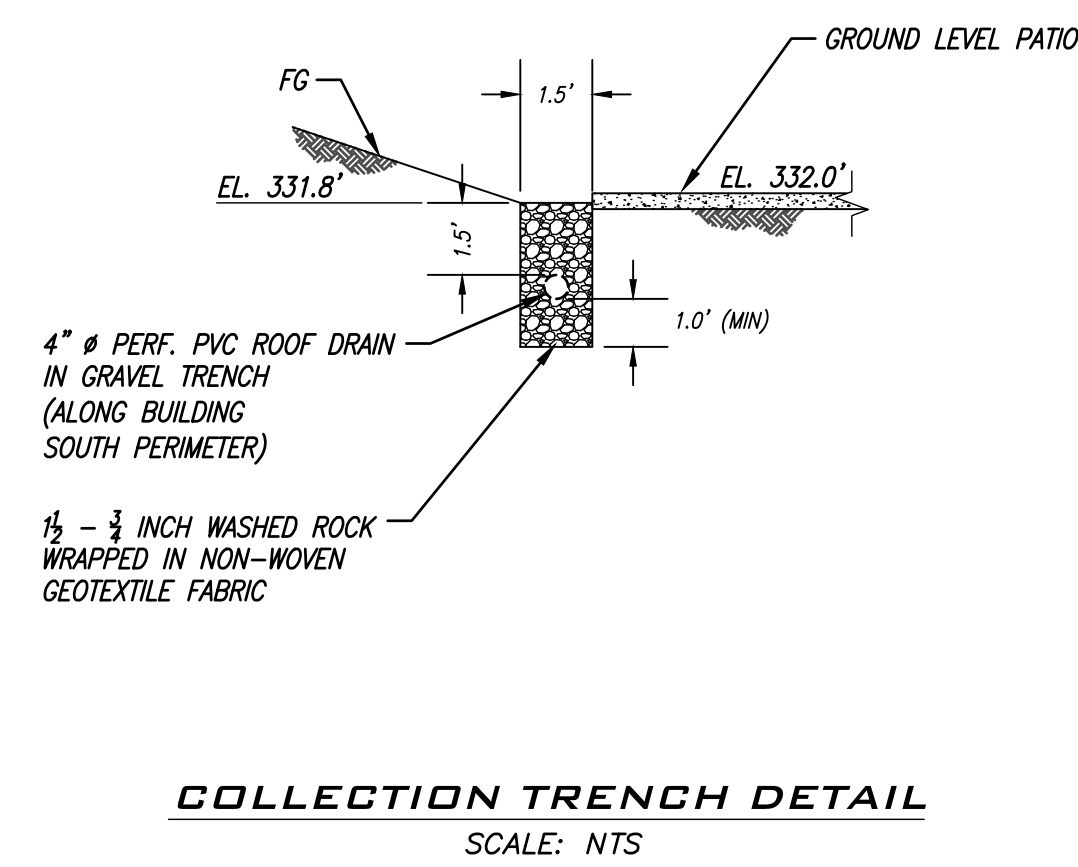


CITY OF MERCER ISLAND
STANDARD DETAILS
 WATER METER PLACEMENT
 3-20-2006 NO SCALE **W-16**
 APPROVED



Professional Engineer Seal for Julie Heilman, State of Washington, No. 41819, Exp. 12/31/21.

Heilman, Julie
 Jan 25 2017 2:53 PM
CATCH BASIN TYPE 1
STANDARD PLAN B-5.20-02
 SHEET 1 OF 1 SHEET
 APPROVED FOR PUBLICATION
 Jan 26 2017 6:48 AM
 STATE DESIGN ENGINEER
 Washington State Department of Transportation



BY	
DESCRIPTION	
DATE	
RF#	
BUILDING PERMIT SITE DETAILS	
Civil Engineering & Planning 14800 Interurban Ave., Suite 279, Seattle, WA 98188 Phone: 206.674.4659 / Fax: 206.674.4660 Web: patrickharron.com	
PROJ. NO.	20126
DSN. BY:	NM
DWN. BY:	MW
CHK. BY:	SC
YAROSLAVSKY RESIDENCE 9319 SE 43RD ST. MERCER ISLAND, WA 98040	
DATE:	03/31/2021
SCALE:	AS SHOWN
DRAWING NO.:	C1.2
	3 OF 4

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LEGEND

- PROPERTY LINE
- SETBACK LINE
- LINE OF OBJECT ABOVE
- LINE OF OBJECT BELOW
- ▨ INSULATED WALL
- ☉ WHF WHOLE HOUSE FAN
- ☉ EXHAUST FAN
- ☉ CD COMBINED SMOKE & CO DETECTOR
- ☉ SD SMOKE DETECTOR
- ☉ WH TANKLESS WATER HEATERS

KEYED PLAN NOTES

- 01 LINE OF BUILDING / AWING / ROOF ABOVE
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- 03 DOWNSPOUT
- 04 STAIR TO CONFORM WITH 2015 IRC R311.7
- 05 PROVIDE 1/2 INCH. GYPSUM BOARD AT UNDER-STAIR SOFFIT AND WALLS OF ACCESSIBLE SPACES UNDER STAIR PER 2015 IRC R302.7
- 06 RECESSED SHOWER FLOOR, PROVIDE FULL BATHROOM WATERPROOFING
- 07 PROVIDE ONE (1) HOUR FIRE SEPARATION BETWEEN LIVING AREAS W/ 5/8" TYPE 'X' GWB OR EQUIVALENT PER 2015 IRC TABLE R302.6
- 08 PROVIDE 2X6 WALLS INSULATED TO R-21 W/ ONE (1) HOUR FIRE RATING BETWEEN GARAGE AND LIVING SPACE (MIN. 1/2" GWB APPLIED TO GARAGE SIDE)
- 09 PROVIDE 20 MIN. SELF CLOSING DOOR W/ SEALS
- 10 36" GUARDRAIL, 4" DIAMETER SPHERE MAY NOT PASS BETWEEN THE GUARDRAIL MEMBERS & MUST WITHSTAND 200 LBS IN ANY DIRECTION
- 11 GROUND LEVEL PATIO
- 12 LANDSCAPED AREA
- 13 DECK
- 14 SLOPED RIGID INSULATION
- 15 VENTILATION
- 16 WATER HEATERS VENTILATION
- 17 R-21 WALL INSULATION ABOVE ALL OPENINGS
- 18 SKYLIGHT
- 19 SKYLIGHT ABOVE
- 20 1 HR FIRE RATED CEILING

TYPICAL FLOOR PLAN NOTES

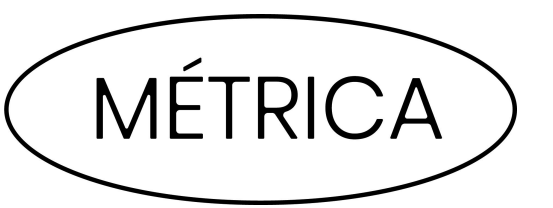
- ALL INTERIOR WALLS TO BE 2X4 @ 16" O.C. (U.N.O.)
- ALL EXTERIOR WALLS TO BE 2X6 @ 16" O.C. (U.N.O.)
- WINDOW & DOOR SIZES ARE NOMINAL ROUGH OPENING, WIDTH AND HEIGHT
- PROVIDE FIRE BLOCKING OVER SUPPORTS
- PROVIDE SOLID BLOCKING OVER SUPPORTS
- PROVIDE R-10 RIGID INSULATION BELOW HEATED SPACES
- PROVIDE 10 MIL MOISTURE BARRIER BELOW ALL CONCRETE SLABS
- PROVIDE APPROVED FIRE STOPPING WALLS.

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NOTE: ALL DIMENSION TO PROJECT ZERO, UOON.

GENERAL NOTES

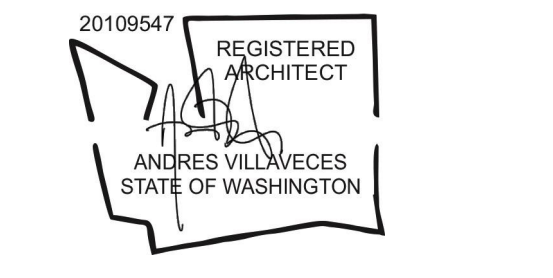
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Architect Stamp



Project Name
YAROSLAVSKY RESIDENCE

9319 SE 43RD ST
 MERCER ISLAND, WA 98040

True North | Project North

Revision History

Sheet Size:
 34" x 36"

Drawing Title:
LOWER LEVEL PLAN

Drawing Status:
PERMIT SET

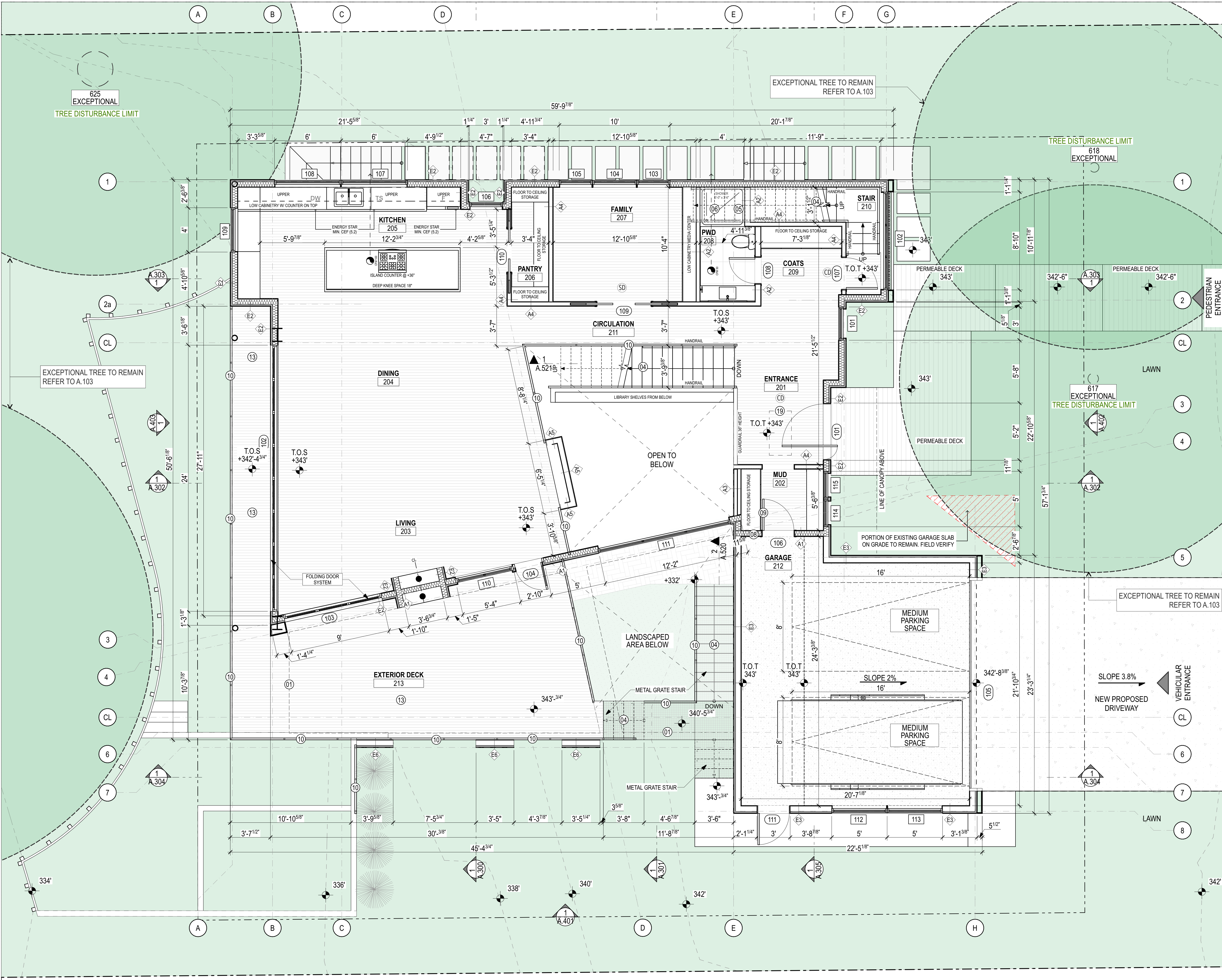
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Revision:
 01

SHEET NAME

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TYPICAL FLOOR PLAN NOTES

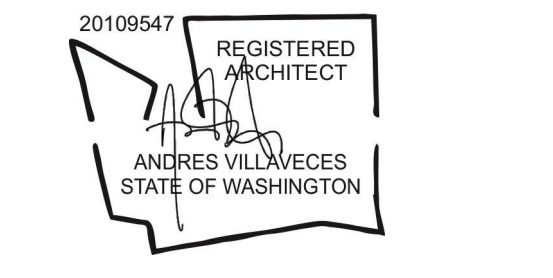
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Design
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Owner
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Architect Stamp



Project Name
YAROSLAVSKY RESIDENCE

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True North | Project North

Revision History

Sheet Size:
 34" x 36"

Drawing Title:
MAIN LEVEL PLAN

Drawing Status:
PERMIT SET

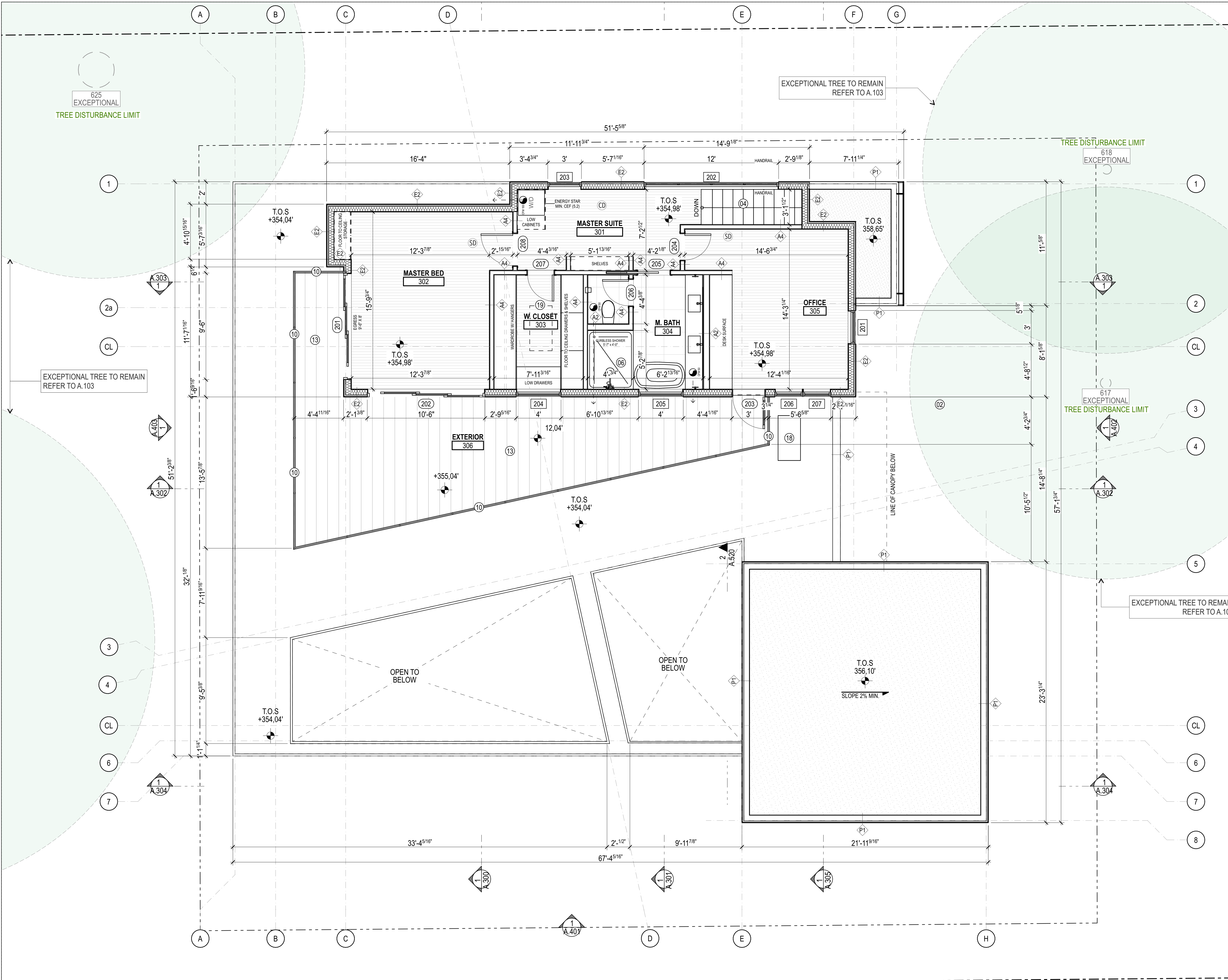
Issue Date:
 31/03/2021

Issue:
 SCHEMATIC DESIGN PACKAGE

Revision:
 01

SHEET NAME

FOR TREE RETENTION AND ROOT DISTURBANCE AREAS
 PLEASE REFER TO A.103 TREE PROTECTION PLAN



LEGEND

- PROPERTY LINE
- SETBACK LINE
- LINE OF OBJECT ABOVE
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- ▨ INSULATED WALL
- ☉ WHF WHOLE HOUSE FAN
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GROUND LEVEL:	+343.00	+0.00
MAXIMUM BUILDING HEIGHT:	+370.30	+27.30
MAXIMUM BUILDING HEIGHT (ROOF HEIGHT EXCEPTIONS):	+370.30	+27.30
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NOTE: ALL DIMENSION TO PROJECT ZERO, UCN.

GENERAL NOTES

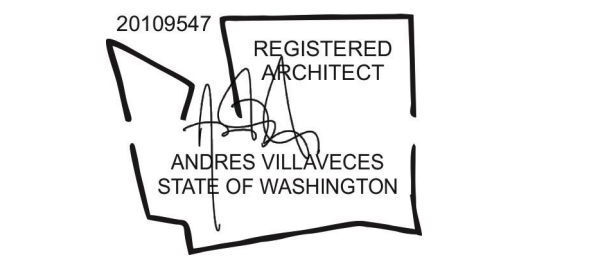
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Architect Stamp



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True North | Project North

Revision History

Sheet Size:
 24" x 36"

Drawing Title:
UPPER LEVEL PLAN

Drawing Status:
PERMIT SET

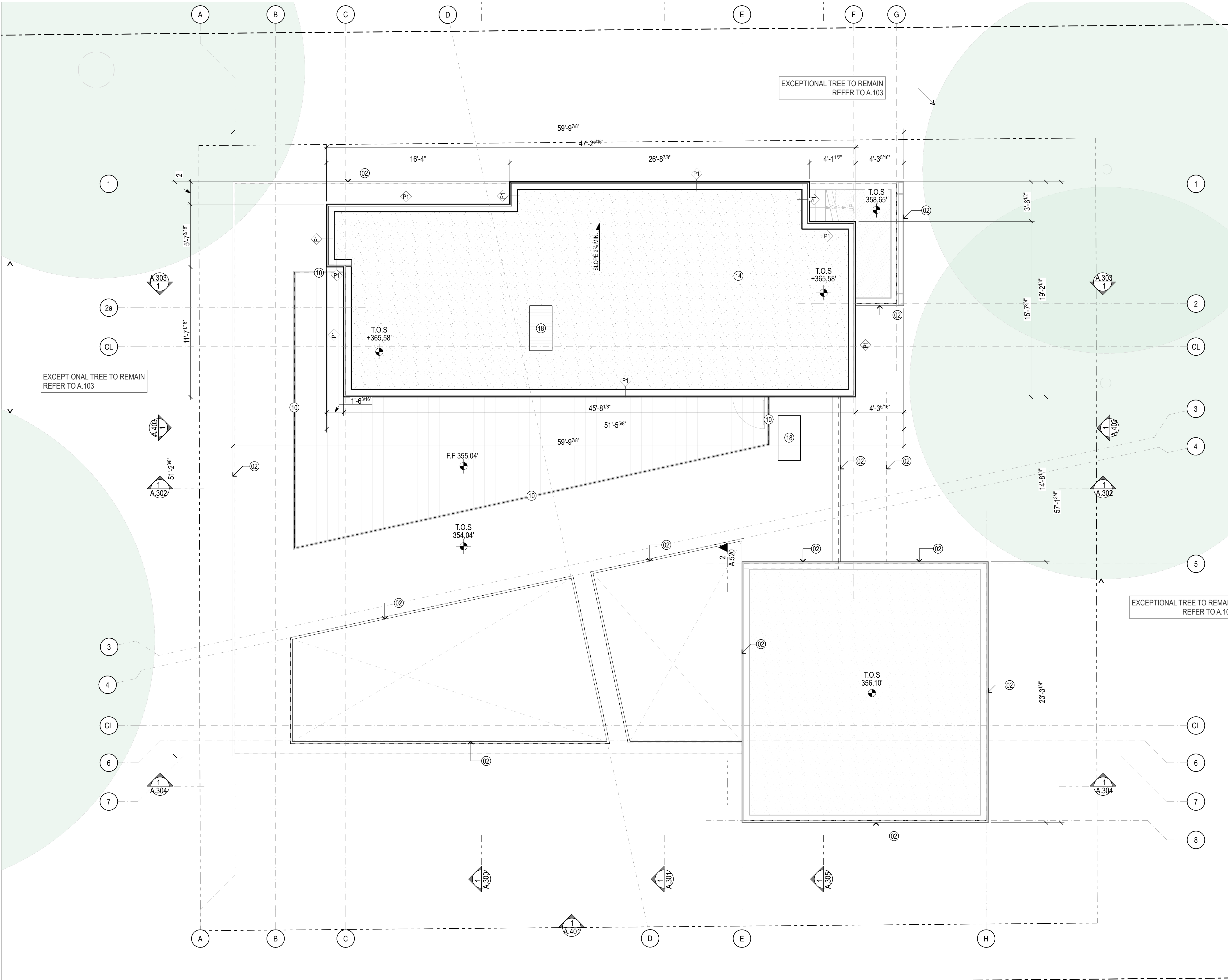
Issue Date:
 31/03/2021

Issue:
 SCHEMATIC DESIGN PACKAGE

Revision:
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SHEET NAME

FOR TREE RETENTION AND ROOT DISTURBANCE AREAS PLEASE REFER TO A.103 TREE PROTECTION PLAN



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TYPICAL FLOOR PLAN NOTES

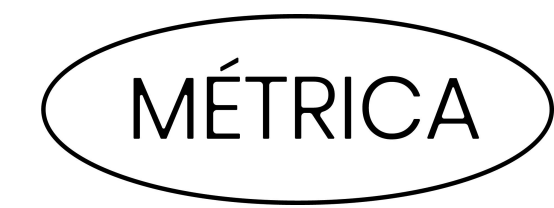
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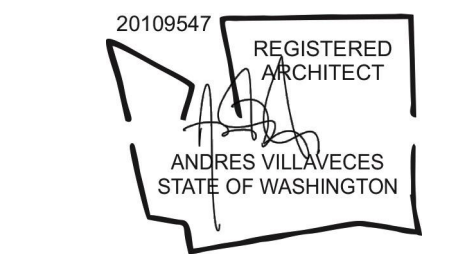
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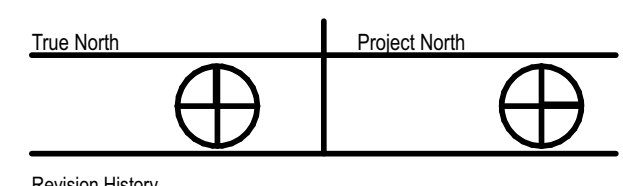
Design
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Architect Stamp



Project Name
YAROSLAVSKY RESIDENCE
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Revision History

Sheet Size:
 24" x 36"

Drawing Title:
ROOF PLAN

Drawing Status:
PERMIT SET

Issue Date:
 31/03/2021

Issue:

Revision:

SHEET NAME

FOR TREE RETENTION AND ROOT DISTURBANCE AREAS
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LEGEND

- PROPERTY LINE
- SETBACK LINE
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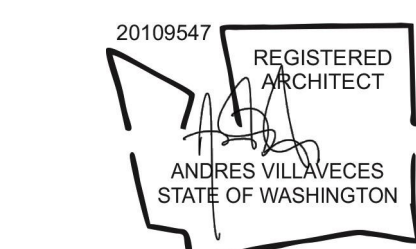
Design

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Owner

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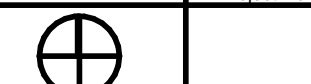
Project Name

YAROSLAVSKY RESIDENCE

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MERCER ISLAND, WA 98040

True North

Project North



Revision History

Sheet Size:

34" x 36"

Drawing Title:

SECTION 1

Drawing Status:

PERMIT SET

Issue Date:

31/03/2021

Issue:

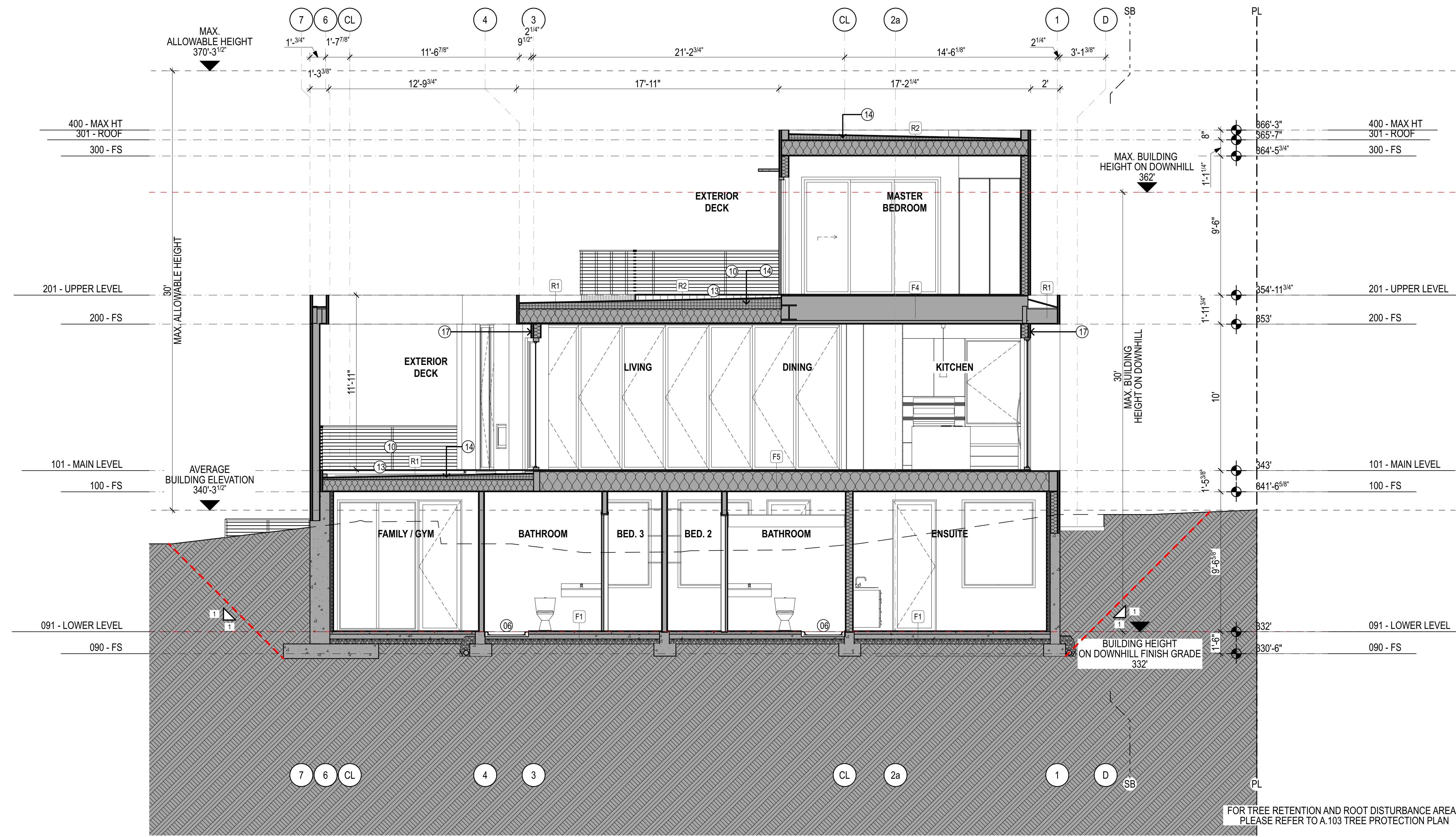
SCHEMATIC DESIGN PACKAGE

Revision:

01

SHEET NAME

A.300



1 BUILDING SECTION 01 1/4" = 1'-0"

FOR TREE RETENTION AND ROOT DISTURBANCE AREAS PLEASE REFER TO A.103 TREE PROTECTION PLAN

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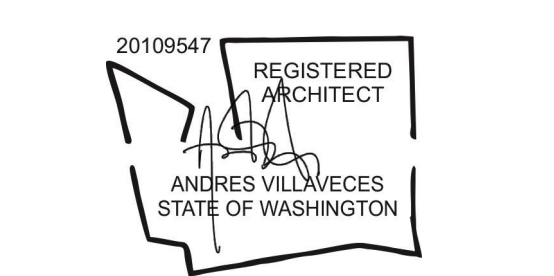
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Sheet Size:
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Drawing Title:
SECTION 2

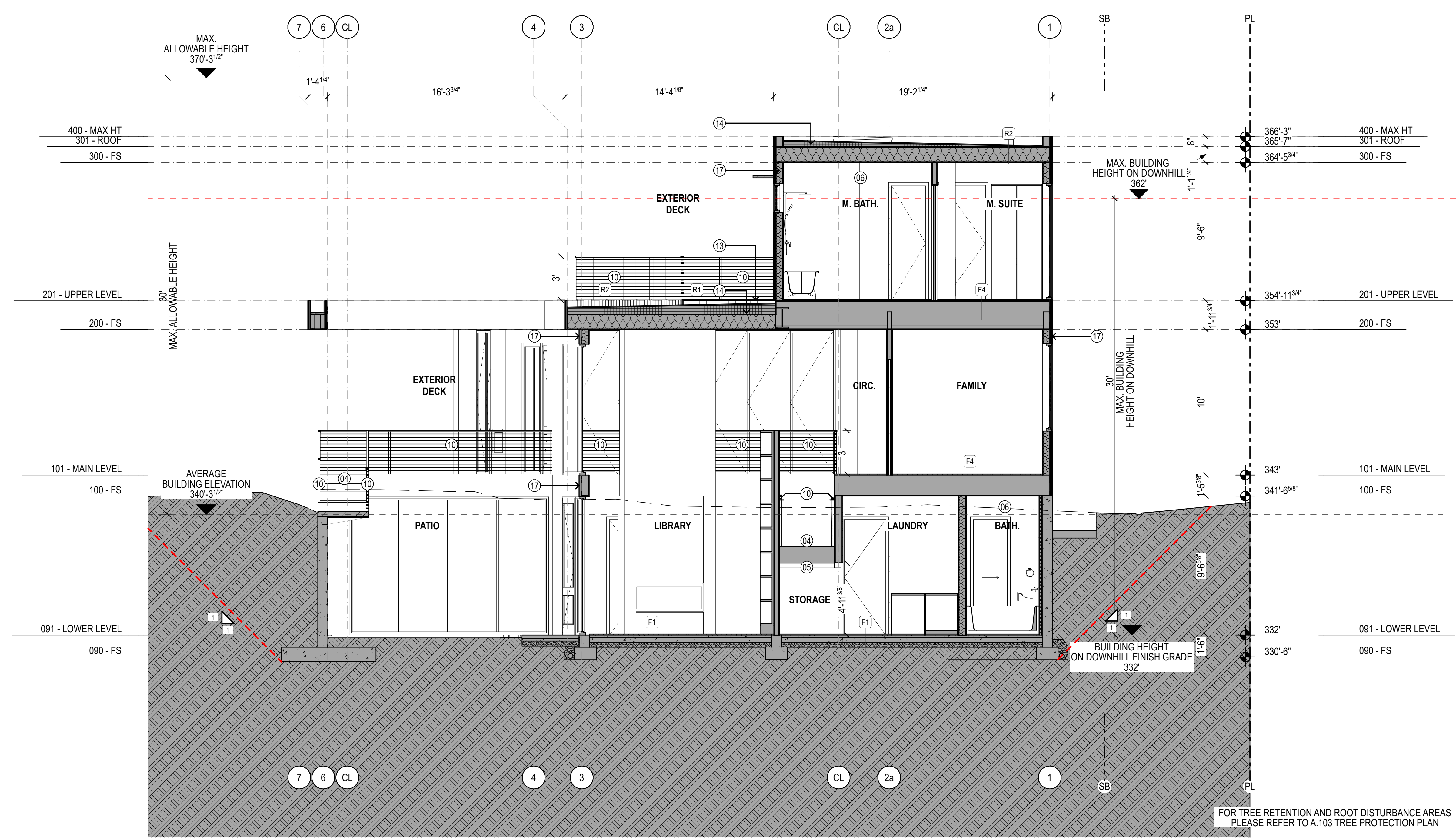
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Issue:
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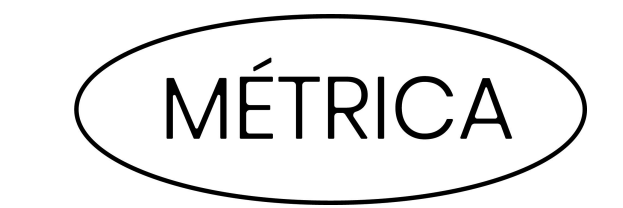
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 SEATTLE WA 98109

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LEO & ROUSLANA YAROSLAVSKY
 9319 SE 43RD ST
 MERCER ISLAND, WA 98040

Architect Stamp



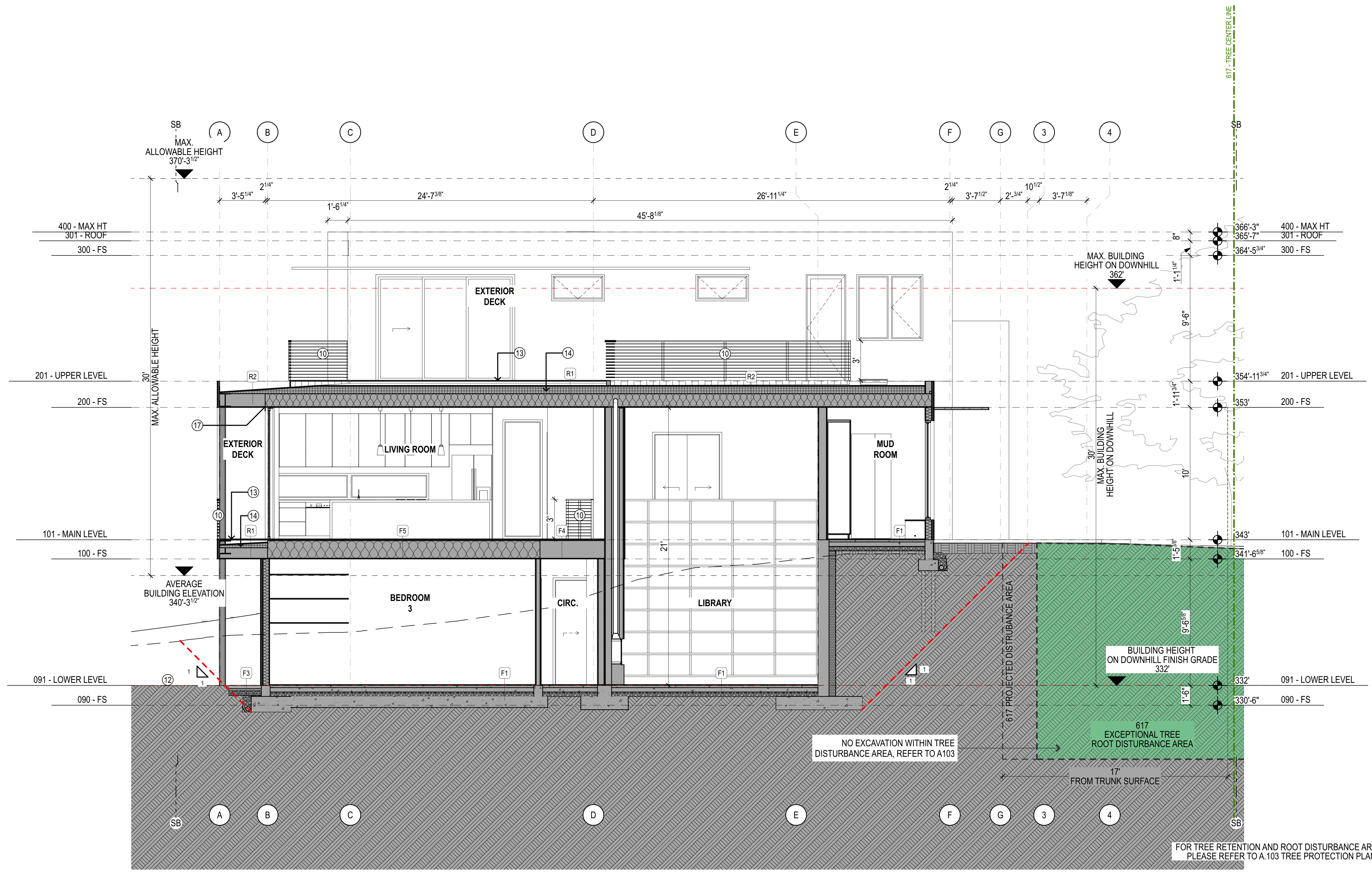
Project Name
YAROSLAVSKY RESIDENCE
 9319 SE 43RD ST
 MERCER ISLAND, WA 98040

True North | Project North

Revision History

TYPICAL FLOOR PLAN NOTES

- ALL INTERIOR WALLS TO BE 2X4 @ 16" O.C. (U.N.O.)
- ALL EXTERIOR WALLS TO BE 2X6 @ 16" O.C. (U.N.O.)
- WINDOW & DOOR SIZES ARE NOMINAL ROUGH OPENING, WIDTH AND HEIGHT
- PROVIDE FIRE BLOCKING OVER SUPPORTS
- PROVIDE SOLID BLOCKING OVER SUPPORTS
- PROVIDE R-10 RIGID INSULATION BELOW HEATED SPACES
- PROVIDE 10 MIL MOISTURE BARRIER BELOW ALL CONCRETE SLABS
- PROVIDE APPROVED FIRE STOPPING WALLS.



1 BUILDING SECTION 03 1/4" = 1'-0"

LEGEND

- PROPERTY LINE
- SETBACK LINE
- LINE OF OBJECT ABOVE
- LINE OF OBJECT BELOW
- LINE OF EXISTING TERRAIN
- INSULATED WALL
- WHOLE HOUSE FAN
- EXHAUST FAN
- COMBINED SMOKE & CO DETECTOR
- SMOKE DETECTOR
- TANKLESS WATER HEATERS

SECTION KEYED NOTES

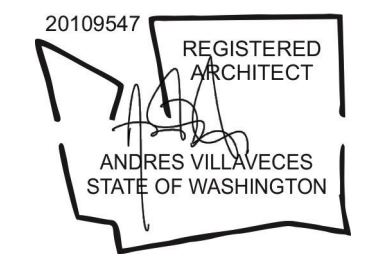
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- 18 SKYLIGHT
- 19 SKYLIGHT ABOVE
- 20 1 HR FIRE RATED CEILING
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Design
METRICA LLC
 500 YALE AVE N, FLOOR 1
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LEGEND

- PROPERTY LINE
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- [Hatched Box] INSULATED WALL
- [Circle with 'WHF'] WHOLE HOUSE FAN
- [Circle with 'E'] EXHAUST FAN
- [Circle with 'CD'] COMBINED SMOKE & CO DETECTOR
- [Circle with 'SD'] SMOKE DETECTOR
- [Circle with 'WH'] TANKLESS WATER HEATERS

PROJECT ZERO & BUILDING ELEVATIONS	TRUE ELEVATION	ELEVATION TO PROJECT ZERO
PROJECT ZERO:	+343.00	+0.00
AVERAGE BUILDING ELEVATION	+340.30	-2.70
GROUND LEVEL:	+343.00	+0.00
MAXIMUM BUILDING HEIGHT:	+370.30	+27.30
MAXIMUM BUILDING HEIGHT (ROOF HEIGHT EXCEPTIONS):	+370.30	+27.30
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NOTE: ALL DIMENSION TO PROJECT ZERO, UCON.

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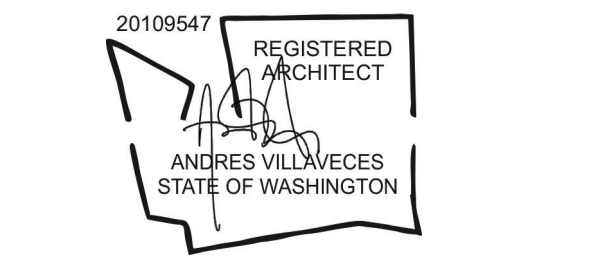
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- DECK
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- VENTILATION
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- R-21 WALL INSULATION ABOVE ALL OPENINGS
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- SKYLIGHT ABOVE
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Sheet Size:
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Drawing Title:
SECTION 5

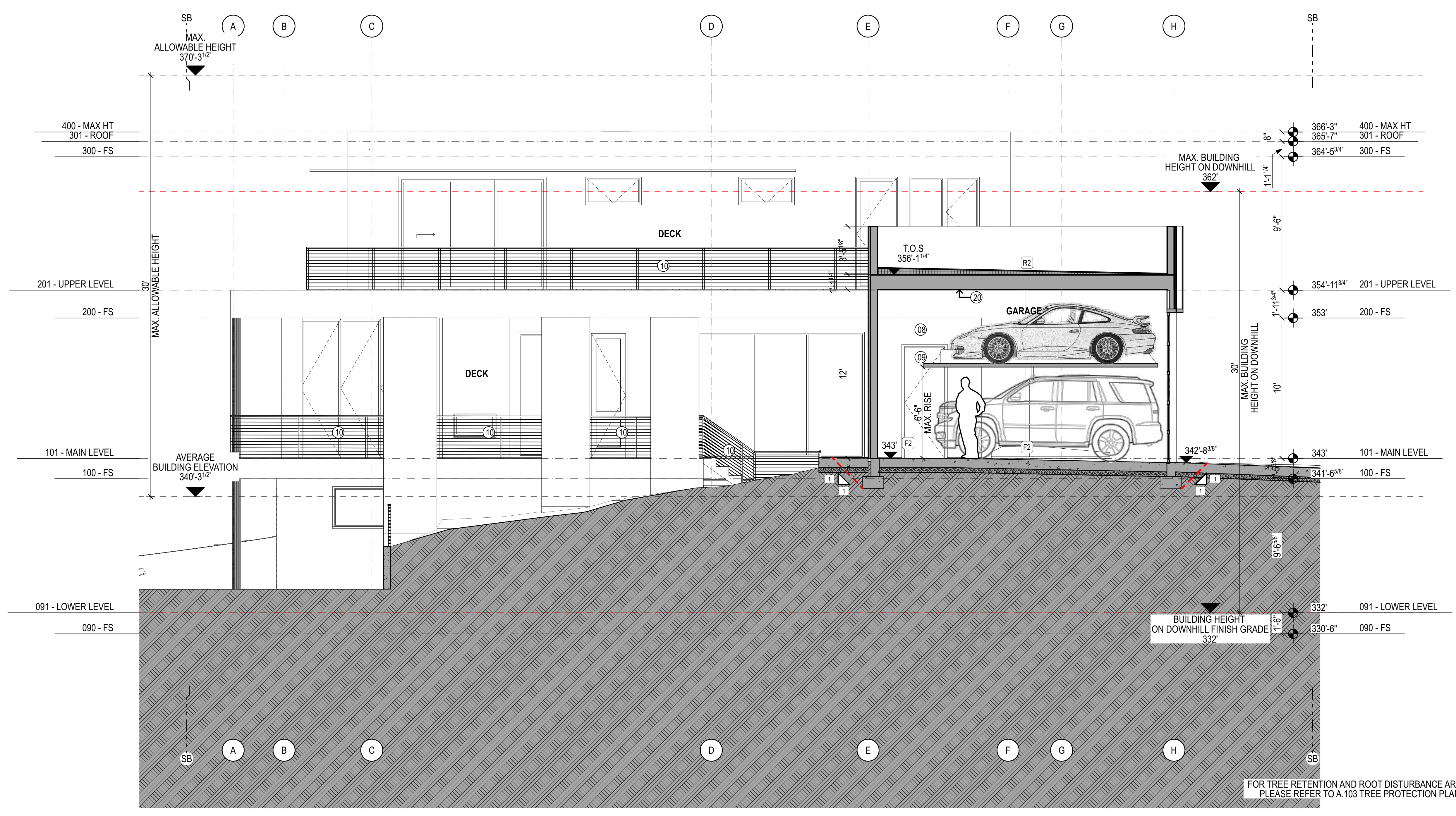
Drawing Status:
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Issue Date:
 31/03/2021

Issue:
 SCHEMATIC DESIGN PACKAGE

Revision:
 01

SHEET NAME



FOR TREE RETENTION AND ROOT DISTURBANCE AREAS PLEASE REFER TO A.103 TREE PROTECTION PLAN

LEGEND

- PROPERTY LINE
- SETBACK LINE
- LINE OF OBJECT ABOVE
- LINE OF OBJECT BELOW
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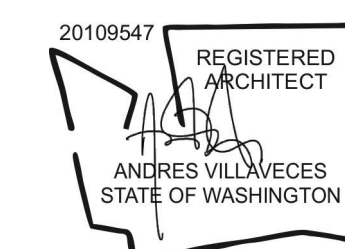
Design

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Project Name

YAROSLAVSKY RESIDENCE

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True North

Project North



Revision History

Sheet Size:

24" x 36"

Drawing Title:

SECTION 6

Drawing Status:

PERMIT SET

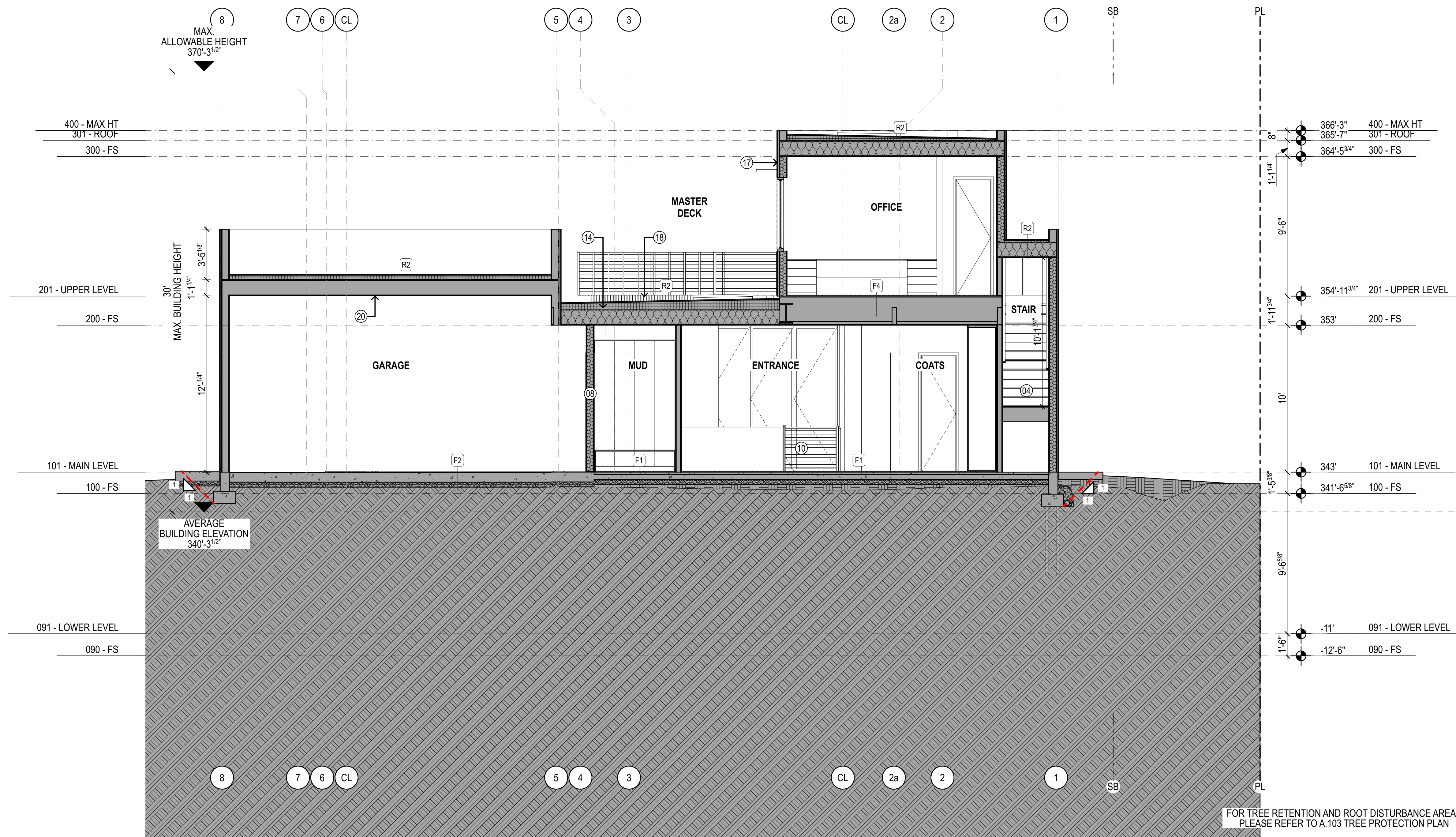
Issue Date:

31/03/2021

Issue:

Revision:

SHEET NAME



FOR TREE RETENTION AND ROOT DISTURBANCE AREAS
PLEASE REFER TO A.103 TREE PROTECTION PLAN

LEGEND

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EXTERIOR MATERIALS KEY

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PROJECT ZERO & BUILDING ELEVATIONS	TRUE ELEVATION	ELEVATION TO PROJECT ZERO
PROJECT ZERO:	+343.00	+0.00
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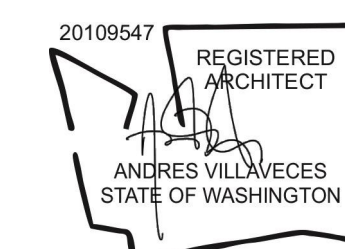
Design

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Architect Stamp



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True North

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Revision History

Sheet Size:

24" x 36"

Drawing Title:

WEST ELEVATION

Drawing Status:

PERMIT SET

Issue Date:

31/03/2021

Issue:

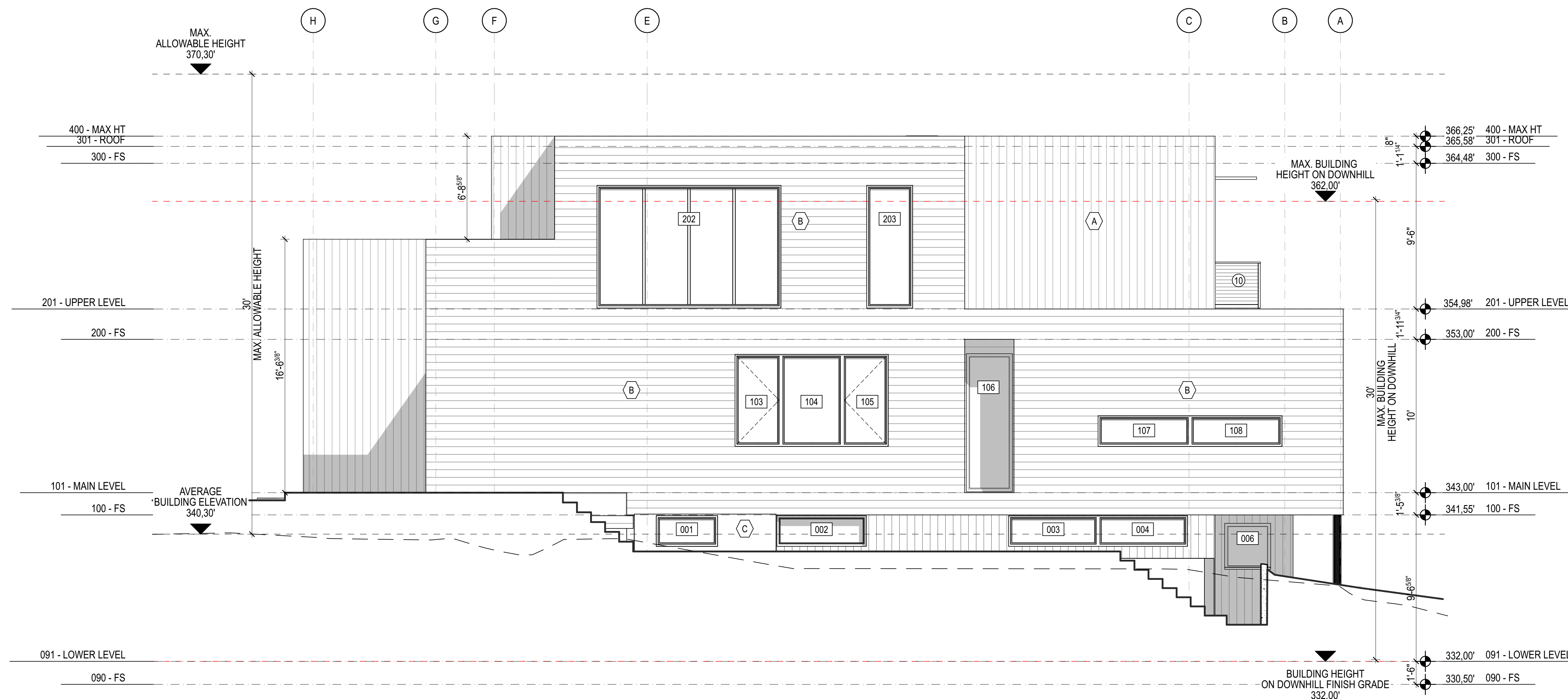
SCHEMATIC DESIGN PACKAGE

Revision:

01

SHEET NAME

A.400



LEGEND

- PROPERTY LINE
- - - SETBACK LINE
- LINE OF OBJECT ABOVE
- LINE OF OBJECT BELOW
- ▨ INSULATED WALL
- ☉ WHF WHOLE HOUSE FAN
- ☉ EXHAUST FAN
- ☉ CD COMBINED SMOKE & CO DETECTOR
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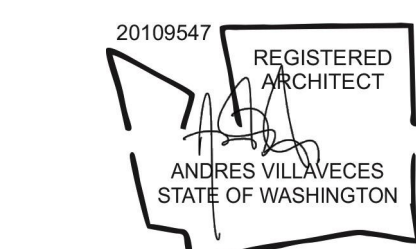
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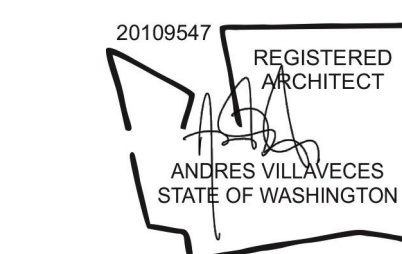
Design

MÉTRICA LLC
500 YALE AVE N, FLOOR 1
SEATTLE WA 98109

Owner

LEO & ROUSLANA YAROSLAVSKY
9319 SE 43RD ST
MERCER ISLAND, WA 98040

Architect Stamp



Project Name

YAROSLAVSKY RESIDENCE

9319 SE 43RD ST
MERCER ISLAND, WA 98040

True North

Project North



Revision History

NO.	DATE	DESCRIPTION

Sheet Size:

24" x 36"

Drawing Title:

NORTH ELEVATION

Drawing Status:

PERMIT SET

Issue Date:

31/03/2021

Issue:

SCHEMATIC DESIGN PACKAGE

Revision:

01

SHEET NAME

A.402



FOR TREE RETENTION AND ROOT DISTURBANCE AREAS
PLEASE REFER TO A.103 TREE PROTECTION PLAN

LEGEND

- PROPERTY LINE
- - - SETBACK LINE
- LINE OF OBJECT ABOVE
- LINE OF OBJECT BELOW
- [Hatched Box] INSULATED WALL
- [WHF Symbol] WHOLE HOUSE FAN
- [E Fan Symbol] EXHAUST FAN
- [CD Symbol] COMBINED SMOKE & CO DETECTOR
- [SD Symbol] SMOKE DETECTOR
- [WH Symbol] TANKLESS WATER HEATERS

ELEVATION KEYED NOTES

- 01 LINE OF BUILDING / AWING / ROOF ABOVE
- 02 LINE OF BUILDING / AWING / ROOF BELOW
- 03 DOWNSPOUT
- 04 STAIR TO CONFORM WITH 2015 IRC R311.7
- 05 PROVIDE 1/2 INCH. GYPSUM BOARD AT ACCESSIBLE SPACES UNDER STAIR PER 2015 IRC R302.7
- 06 RECESSED SHOWER FLOOR, PROVIDE FULL BATHROOM WATERPROOFING
- 07 PROVIDE ONE (1) HOUR FIRE SEPARATION BETWEEN LIVING AREAS W/ 5/8" TYPE 'X' GWB OR EQUIVALENT PER 2015 IRC TABLE R302.6
- 08 PROVIDE 2X6 WALLS INSULATED TO R-21 W/ ONE (1) HOUR FIRE RATING BETWEEN GARAGE AND LIVING SPACE (MIN. 1/2" GWB APPLIED TO GARAGE SIDE)
- 09 PROVIDE 20 MIN. SELF CLOSING DOOR W/ SEALS
- 10 36" GUARDRAIL; 4" DIAMETER SPHERE MAY NOT PASS BETWEEN THE GUARDRAIL MEMBERS & MUST WITHSTAND 200 LBS IN ANY DIRECTION
- 11 GROUND LEVEL PATIO
- 12 LANDSCAPED AREA
- 13 DECK
- 14 SLOPED RIGID INSULATION
- 15 VENTILATION
- 16 WATER HEATERS VENTILATION
- 17 R-21 WALL INSULATION ABOVE ALL OPENINGS
- 18 SKYLIGHT
- 19 SKYLIGHT ABOVE
- 20 1 HR FIRE RATED CEILING
- 21 R-30 BATT INSULATION



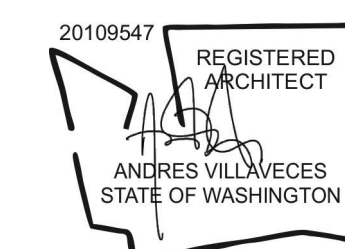
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Drawing Title:

SOUTH ELEVATION

Drawing Status:

PERMIT SET

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Issue:

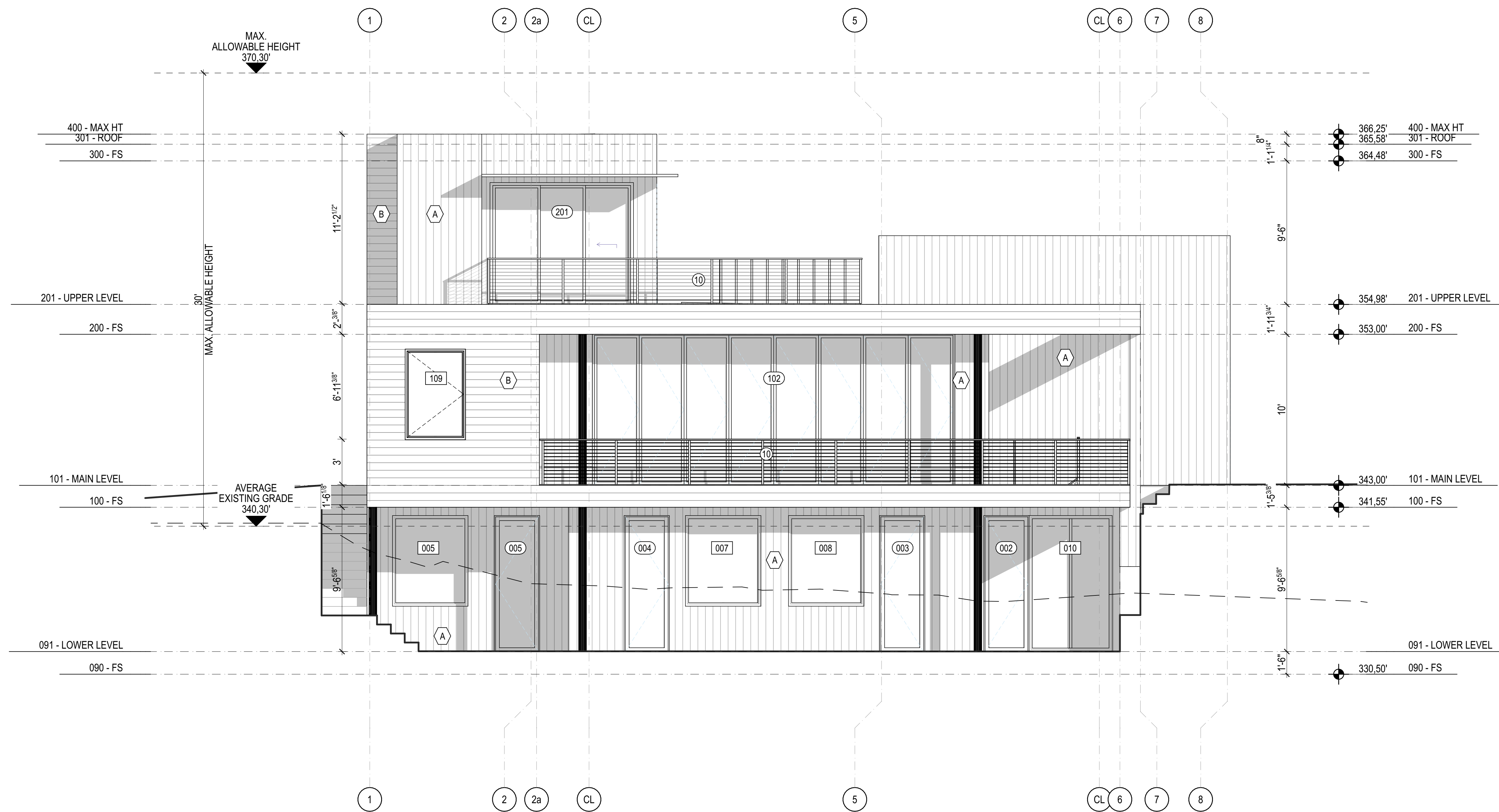
SCHEMATIC DESIGN PACKAGE

Revision:

01

SHEET NAME

A.403



PROJECT ZERO & BUILDING ELEVATIONS	TRUE ELEVATION	ELEVATION TO PROJECT ZERO
PROJECT ZERO:	+343.00	+0.00
AVERAGE BUILDING ELEVATION	+340.30	-2.70
GROUND LEVEL:	+343.00	+0.00
MAXIMUM BUILDING HEIGHT:	+370.30	+27.30
MAXIMUM BUILDING HEIGHT (ROOF HEIGHT EXCEPTIONS):	+370.30	+27.30
ACTUAL BUILDING HEIGHT:	+386.25	+23.25

NOTE: ALL DIMENSION TO PROJECT ZERO, UICN.

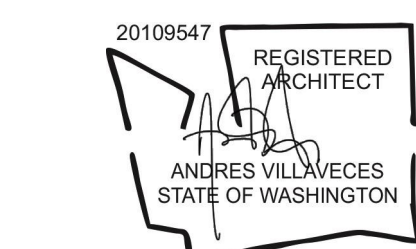
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True North | Project North

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STAIR SECTIONS

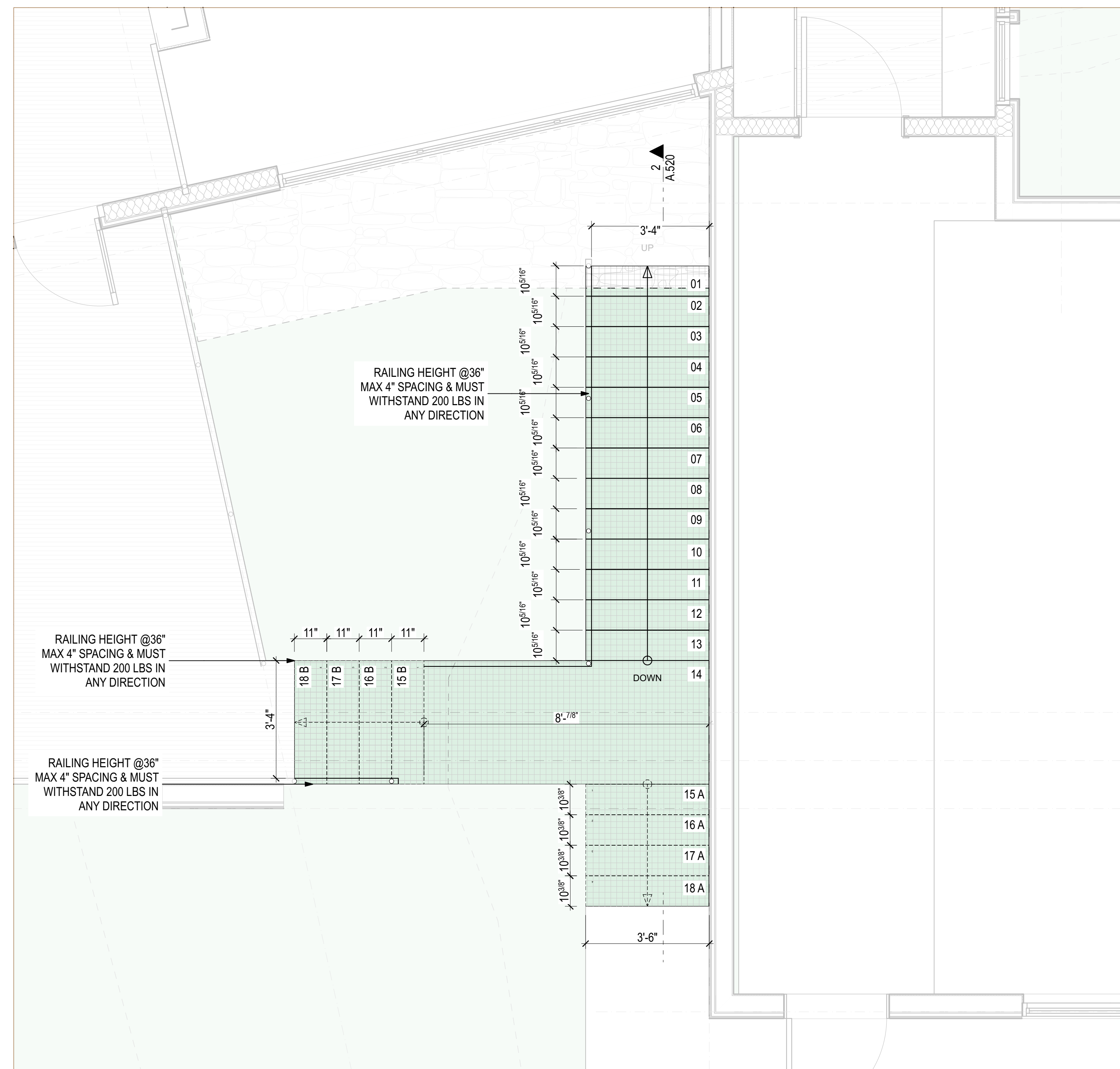
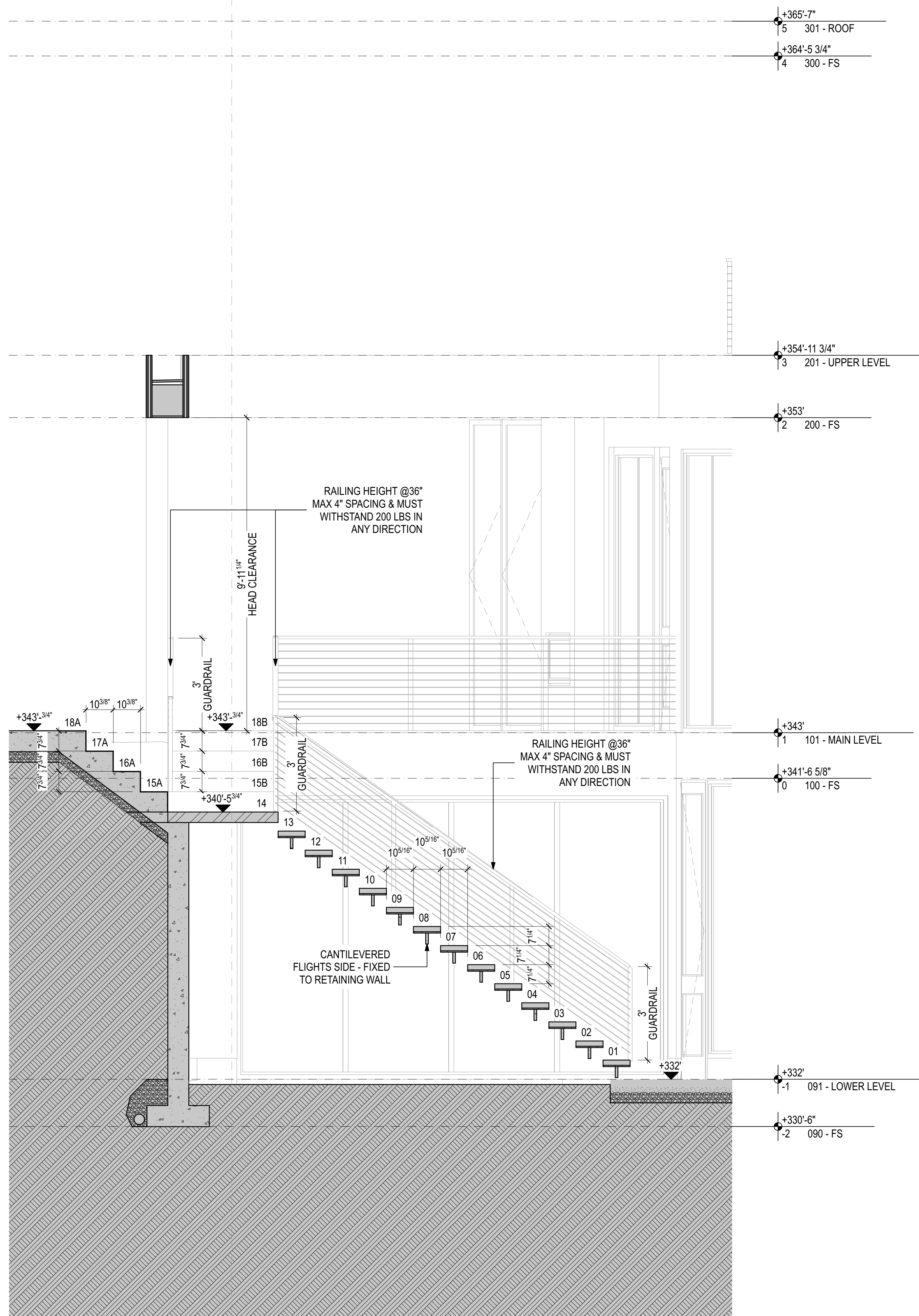
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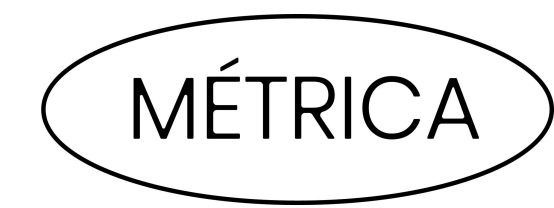
SHEET NAME



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GROUND LEVEL:	+343.00	+0.00
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MAXIMUM BUILDING HEIGHT (ROOF HEIGHT EXCEPTIONS):	+370.30	+27.30
ACTUAL BUILDING HEIGHT:	+366.25	+23.25

NOTE: ALL DIMENSION TO PROJECT ZERO, UCN.

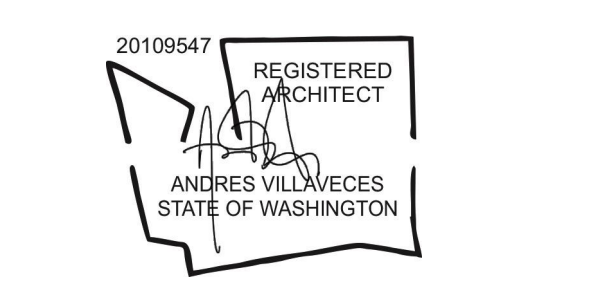
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True North | Project North

Revision History

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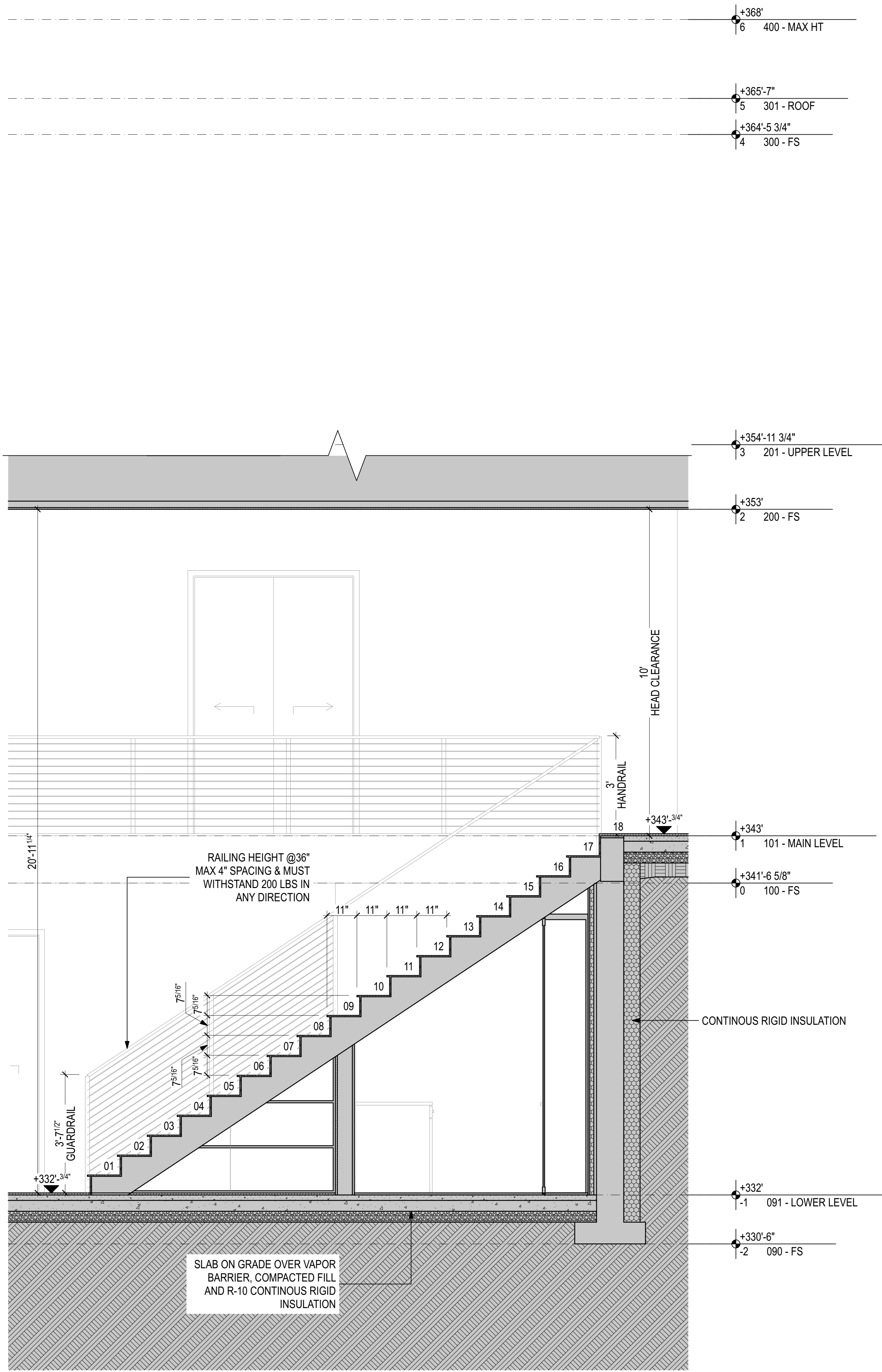
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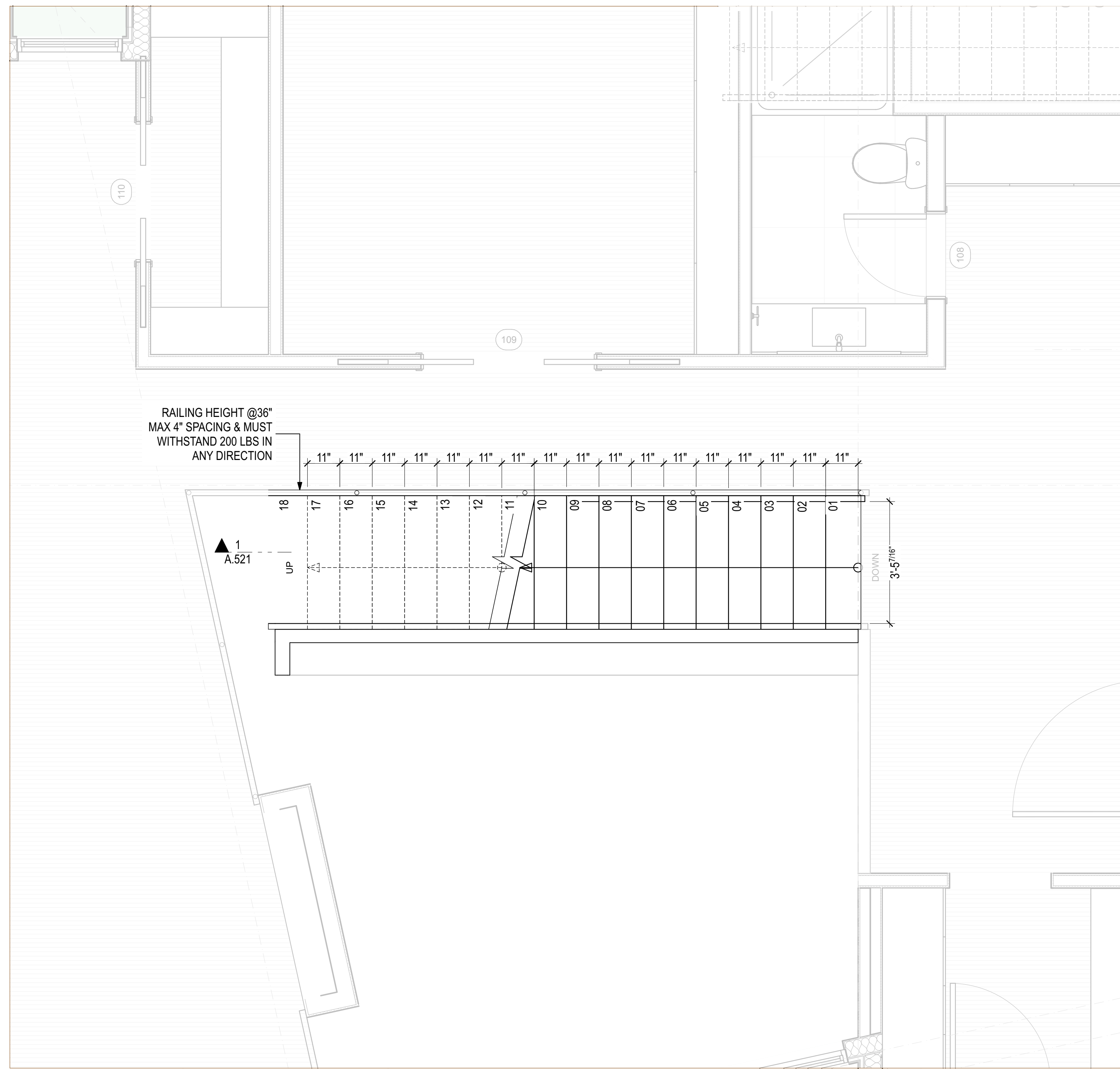
Issue:

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1 STAIR SECTION 1/2" = 1'-0"



1/2" = 1'-0" MAIN LEVEL PLAN 04

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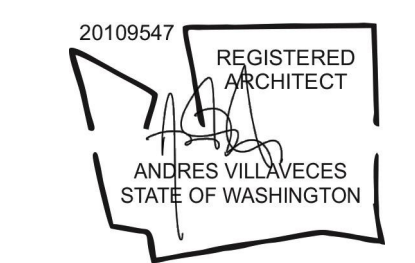
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True North | Project North

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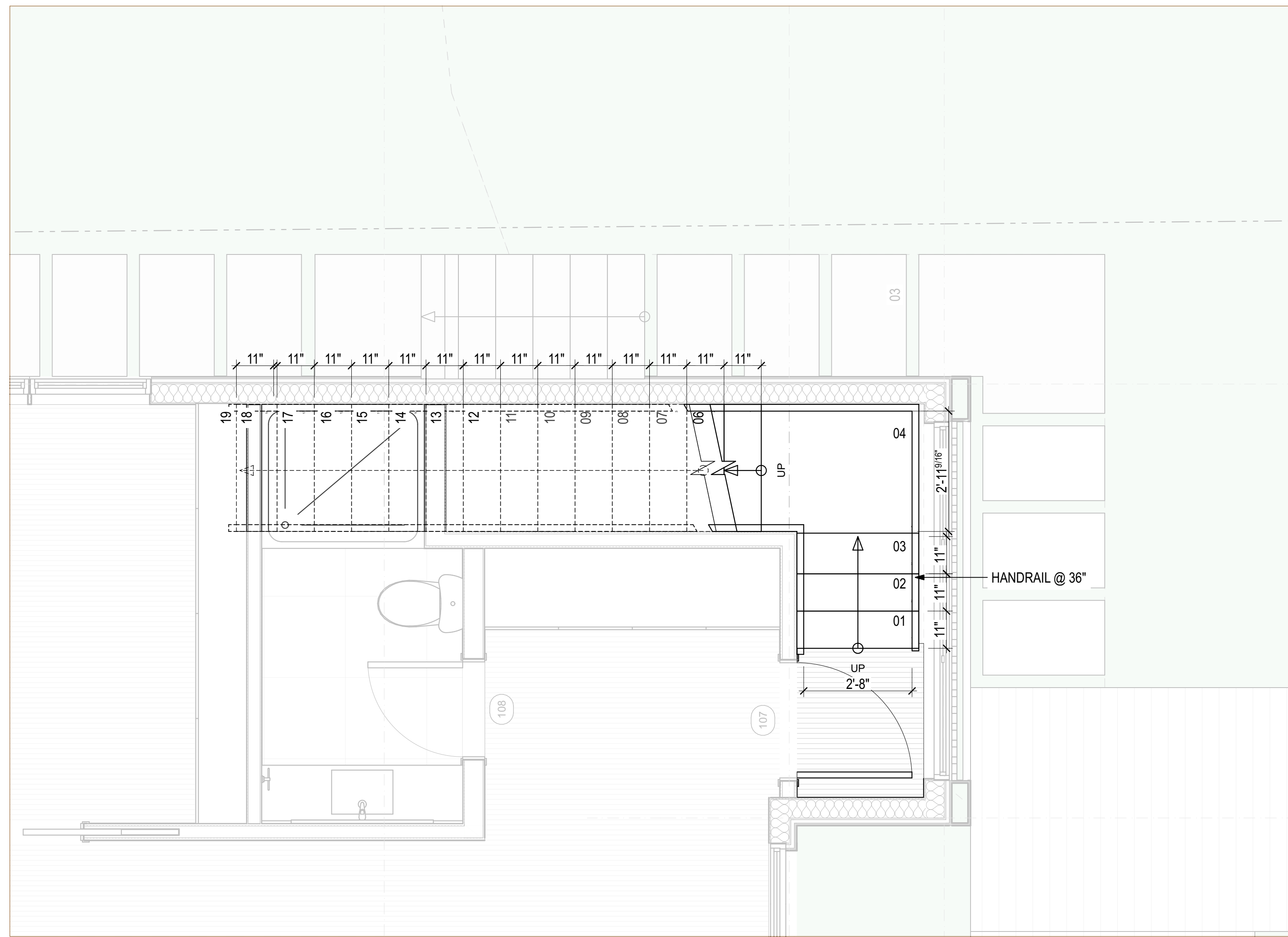
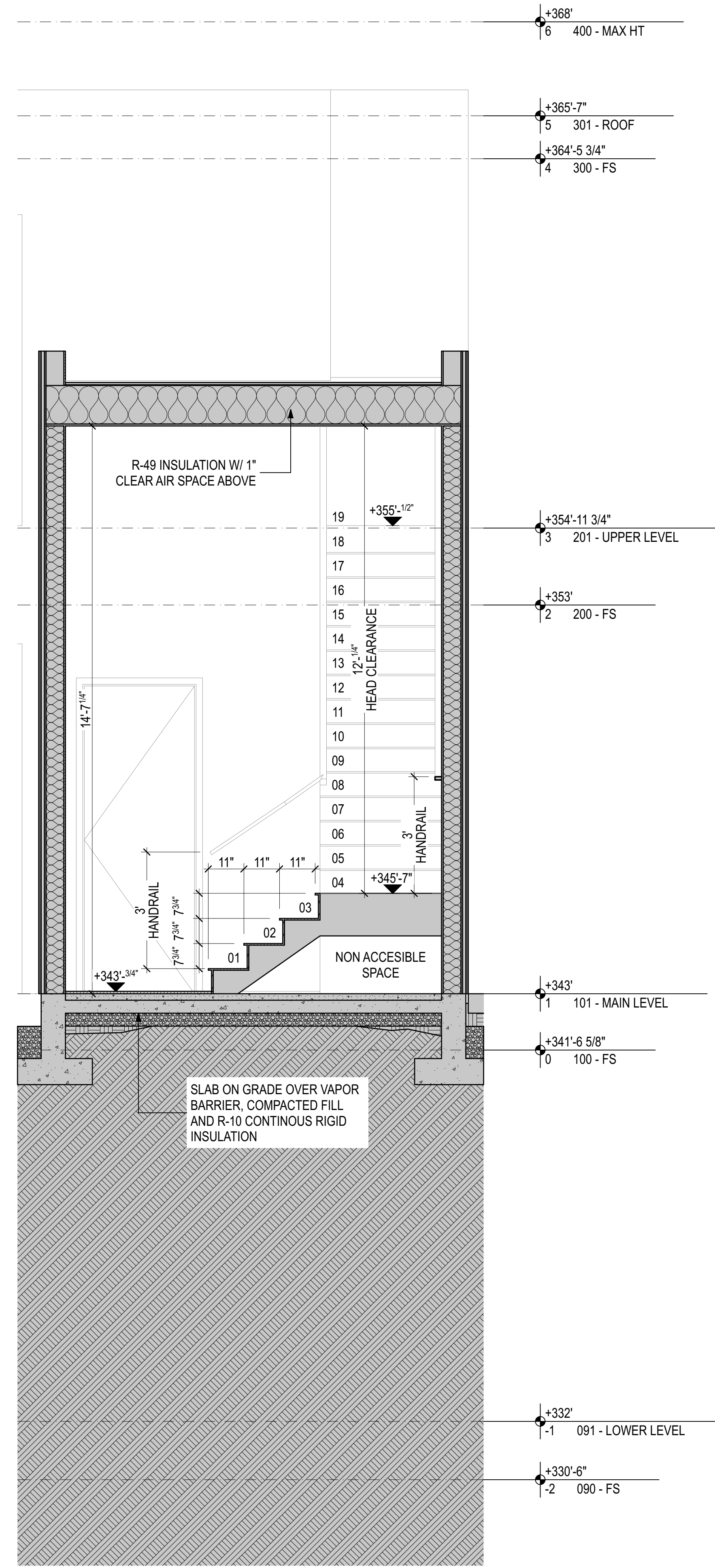
Drawing Status:
PERMIT SET

Issue Date:
 31/03/2021

Issue:

Revision:

SHEET NAME



CITY OF MERCER ISLAND - GROSS FLOOR AREA

THE GROSS FLOOR AREA SHALL NOT EXCEED:
 B. R-9.6: 8,000 SF OR 40% OF THE LOT AREA, WHICHEVER IS LESS.
 10,625 X 40% = 4,250 SF MAX GFA + ADU COMPLEMENT (250 SF) = 4,500 SF

Areas - GFA	
Home Story Name	Area
091 - LOWER LEVEL	1,734.82
101 - MAIN LEVEL	2,590.65
201 - UPPER LEVEL	825.78
5,151.25 sq ft	

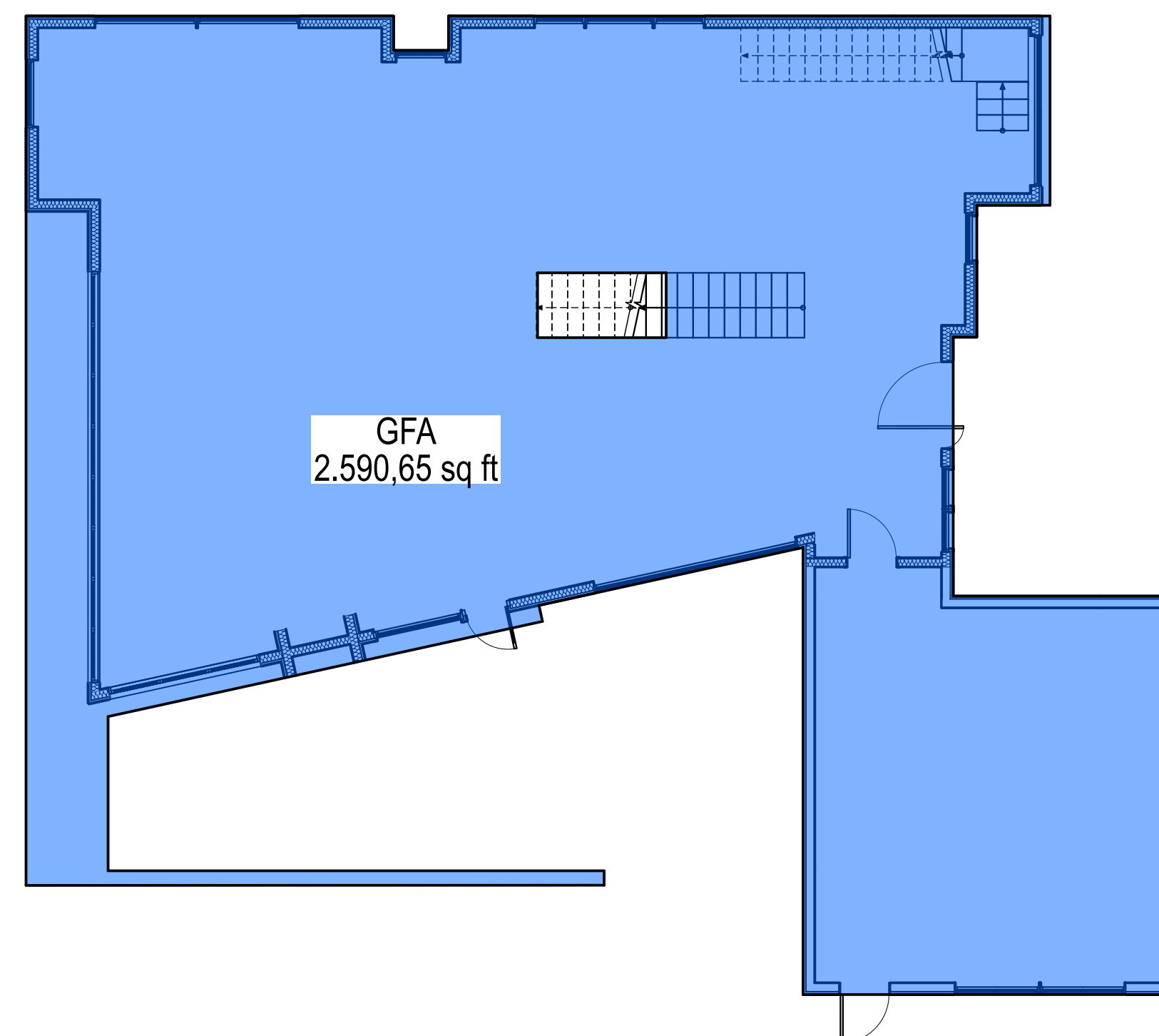
PORTION OF EXCLUDED BASEMENT FLOOR AREA =
 TOTAL BASEMENT AREA x Σ(WALL SEGMENT COVERAGE x WALL SEGMENT LENGTH)

TOTAL OF ALL WALL SEGMENT LENGTHS

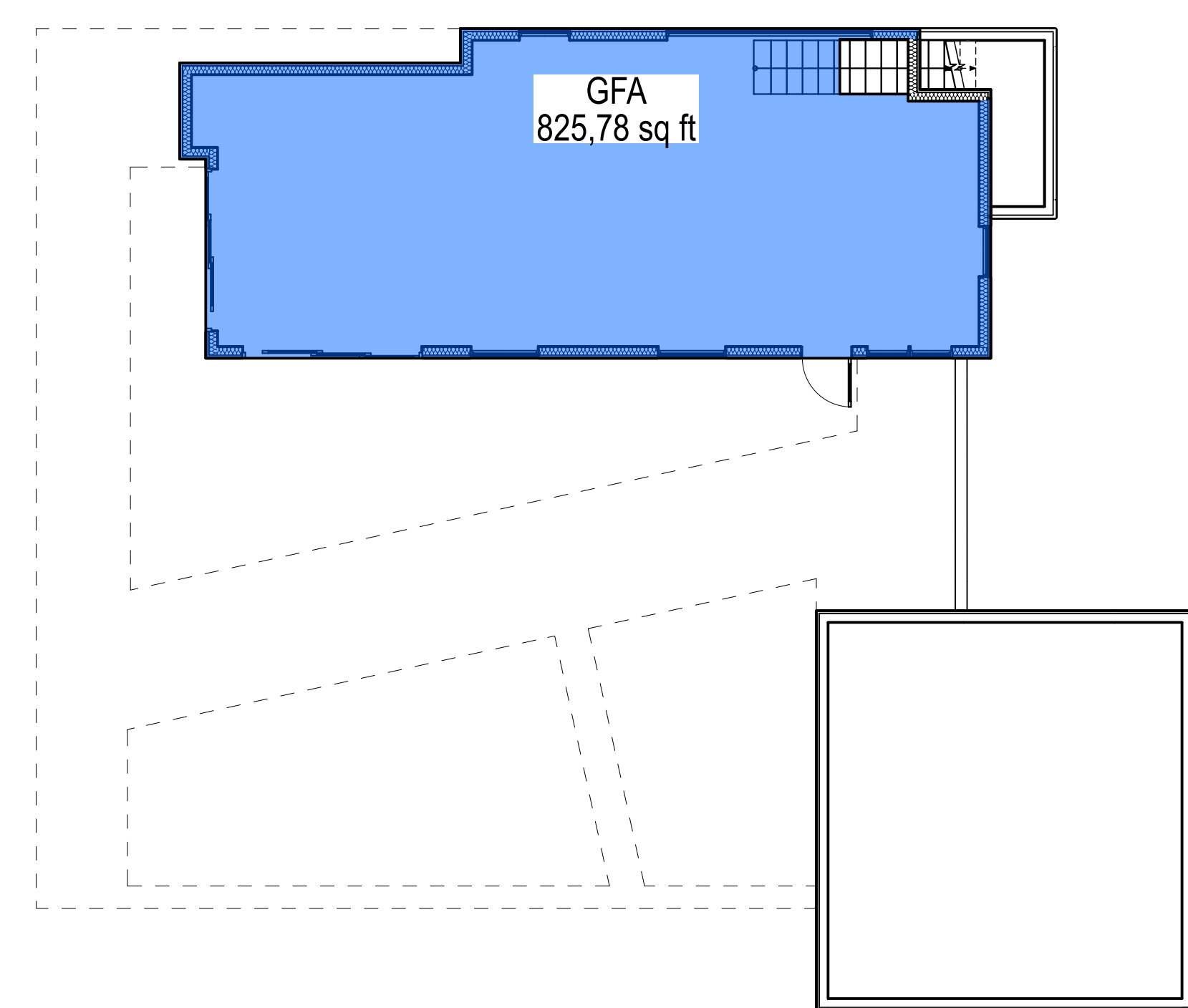
BASEMENT GROSS FLOOR AREA CALCULATION						
SEGMENT	LENGTH	HEIGHT	TOTAL AREA	AREA COVERED	COVERAGE %	RESULT FACTOR
A	19.50	9.55	186.23	146.54	78.69%	15.34
B	9.87	9.55	94.29	0.00	0.00%	0.00
C	10.90	9.55	104.10	0.00	0.00%	0.00
D	27.30	9.55	260.74	0.00	0.00%	0.00
E	5.10	9.55	48.71	0.00	0.00%	0.00
F	13.34	9.55	126.87	0.00	0.00%	0.00
G	37.86	9.55	361.56	236.75	65.48%	24.79
H	30.86	9.55	294.71	294.71	100.00%	30.86
I	16.47	9.55	157.29	0.00	0.00%	0.00
J	16.51	9.55	157.67	0.00	0.00%	0.00
TOTAL	187.71			To Be Deducted	37.82%	70.99
TOTAL AREA				DEDUCTABLE 37.82%		TOTAL BASEMENT GFA
BASEMENT AREA (IN SF)			1734.82	656.14		1078.68

AREAS - GFA CALCULATION	
BASEMENT	1078.68
GROUND LEVEL	2590.65
LEVEL 01	825.78
4495.11	
ALLOWED	4250.00
ADU SUPPLEMENT	250.00
ALLOWED + ADU	4500.00

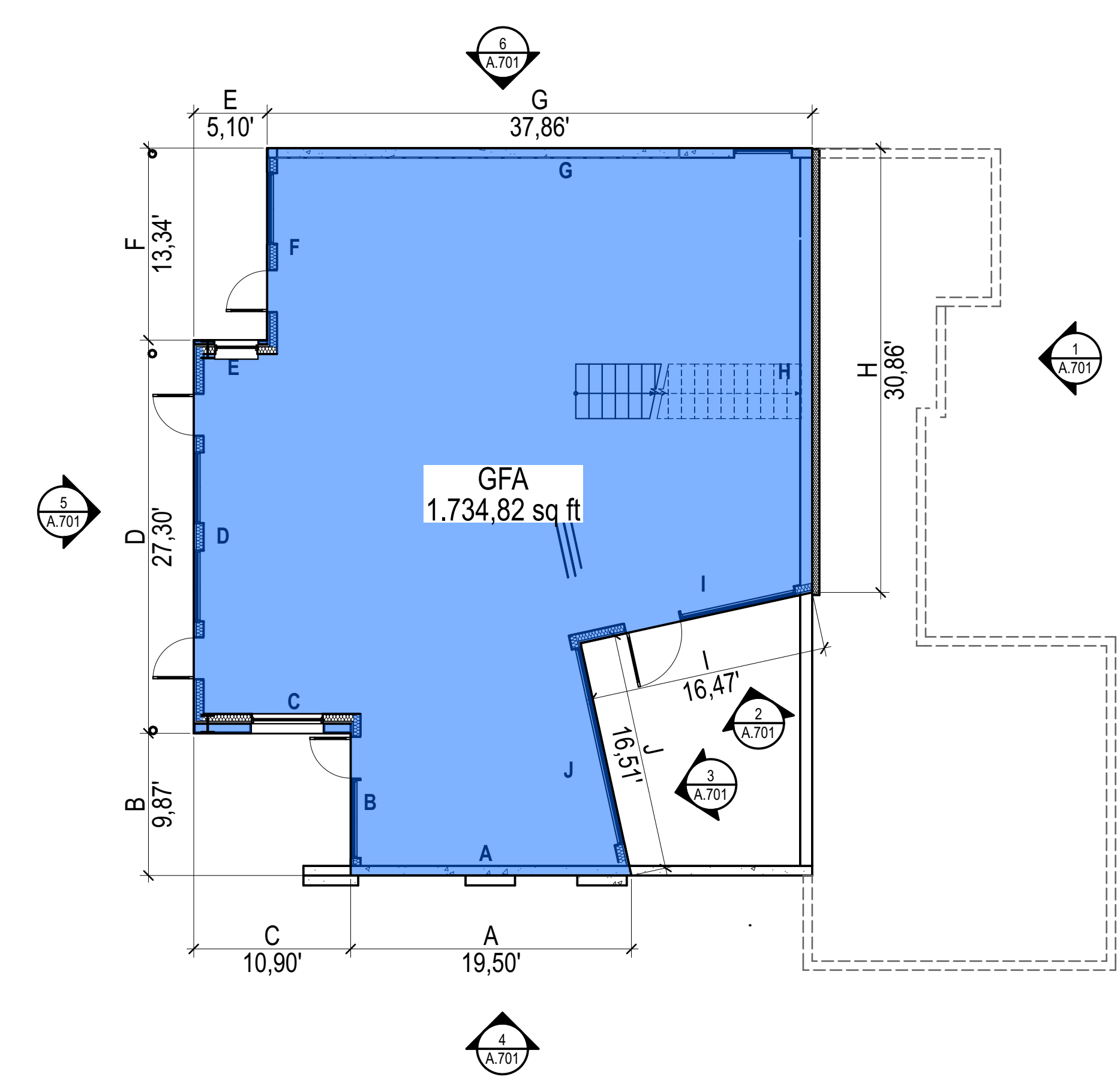
TOTAL PROPOSED GROSS FLOOR AREA = 4,495.11 SF GFA



3 101 - MAIN LEVEL - GFA 1/8" = 1'-0"



2 201 - UPPER LEVEL - GFA 1/8" = 1'-0"



1 091 - LOWER LEVEL - GFA 1/8" = 1'-0"

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True North | Project North

Revision History

Sheet Size:
 24" x 36"

Drawing Title:
AREAS - GFA

Drawing Status:
PERMIT SET

Issue Date:
 31/03/2021

Issue:
 SCHEMATIC DESIGN PACKAGE

Revision:
 01

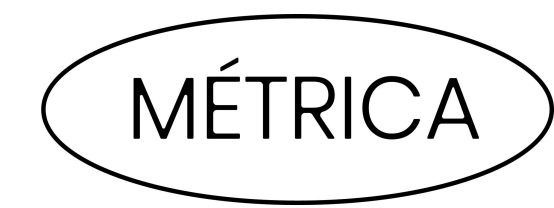
SHEET NAME

A.700

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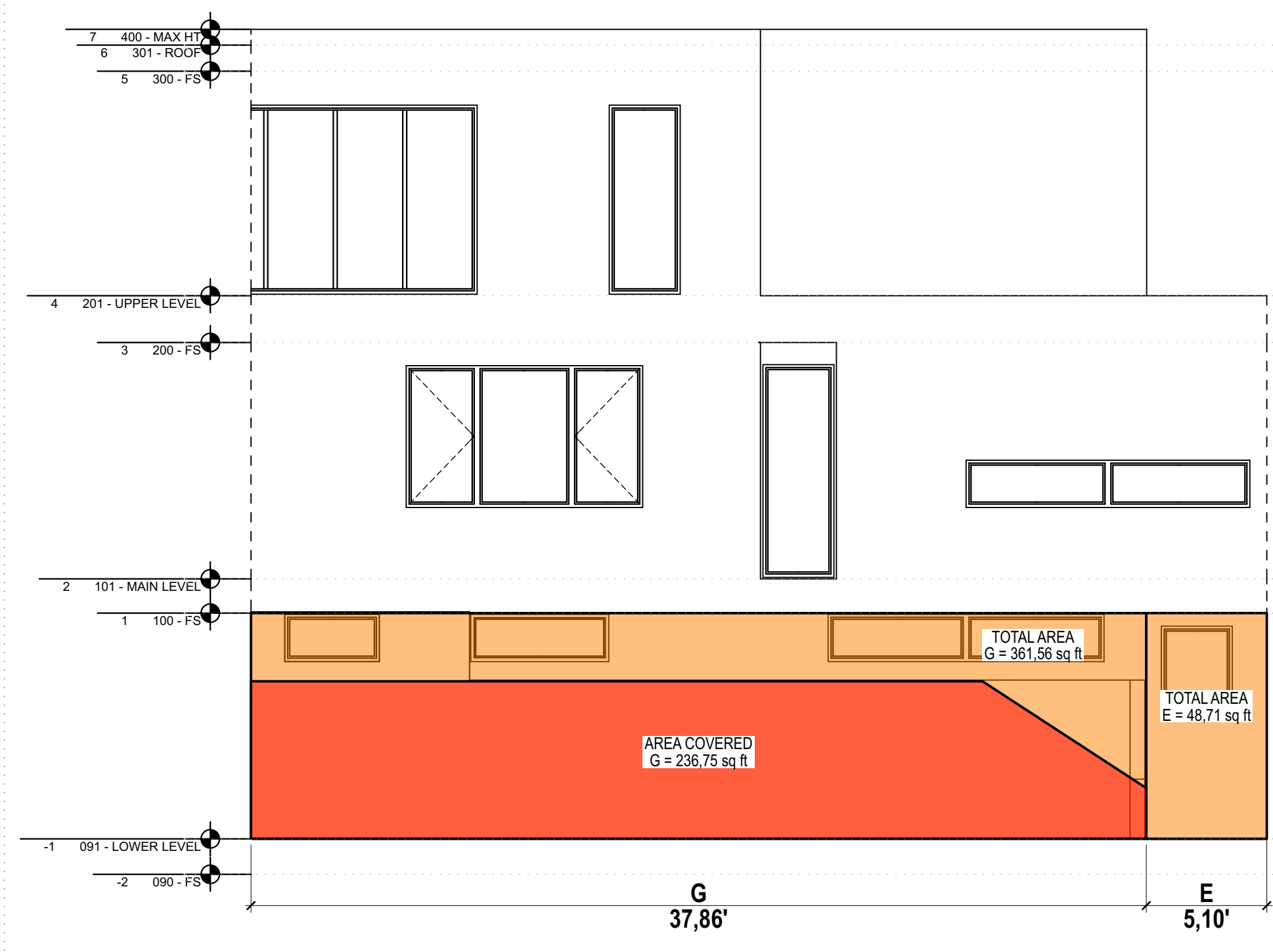
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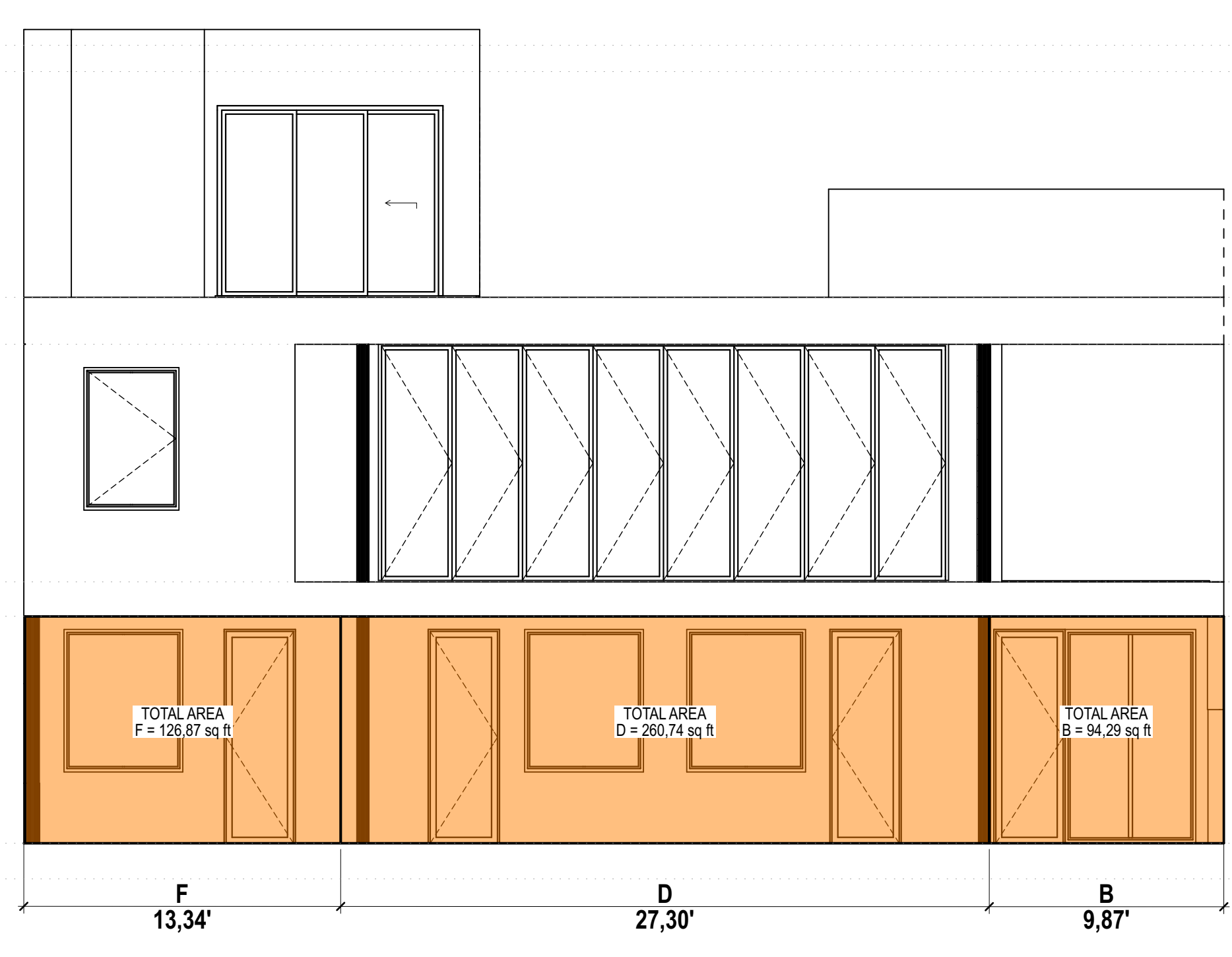
Issue:
 SCHEMATIC DESIGN PACKAGE

Revision:
 01

SHEET NAME
A.701



6 GFA BASEMENT - WEST 3/16" = 1'-0"



5 GFA BASEMENT - SOUTH 3/16" = 1'-0"



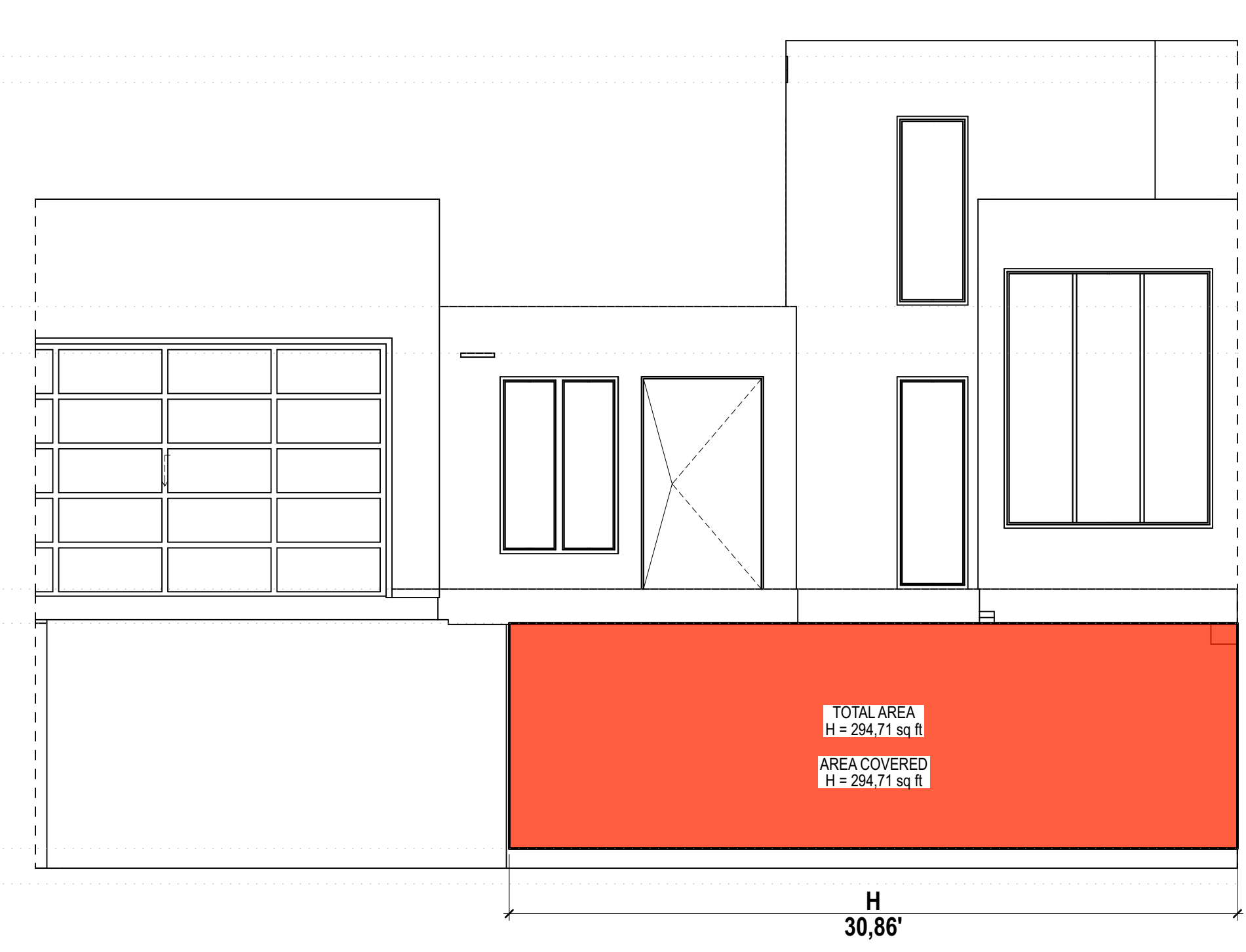
4 GFA BASEMENT - EAST 3/16" = 1'-0"



3 GFA BASEMENT - NORTH PATIO 3/16" = 1'-0"



2 GFA BASEMENT - EAST PATIO 3/16" = 1'-0"



1 GFA BASEMENT - NORTH 3/16" = 1'-0"

WINDOW SCHEDULE

J1 WINDOW SCHEDULE											
LEVEL	ID	TYPE	ROOM	QUANTITY	WINDOW SIZE			W/D OPENING NOMINAL SURFACE AREA	SAFETY GLASS	EGRESS	U-VALUE
					NOMINAL WIDTH	NOMINAL HEIGHT	NOMINAL W x H SIZE				
091 - LOWER LEVEL											
	001	A	MECH.	1	4'-0"	2'-0"	4'-0"×2'-0"	8,00			0.25
	002	B	ADU BATH.	1	5'-10"	2'-0"	5'-10"×2'-0"	11,67			0.25
	003	B	ADU	1	5'-10"	2'-0"	5'-10"×2'-0"	11,67			0.25
	004	B	ADU	1	5'-10"	2'-0"	5'-10"×2'-0"	11,67			0.25
	005	C	ADU BED.	1	5'-0"	6'-0"	5'-0"×6'-0"	30,00	X		0.25
	006	D	BEDROOM 02	1	3'-0"	3'-0"	3'-0"×3'-0"	9,00			0.25
	007	C	BEDROOM 02	1	5'-0"	6'-0"	5'-0"×6'-0"	30,00	X		0.25
	008	C	BEDROOM 03	1	5'-0"	6'-0"	5'-0"×6'-0"	30,00	X		0.25
	009	E	BEDROOM 03	1	5'-0"	3'-0"	5'-0"×3'-0"	15,00			0.25
	010	E		1	5'-0"	3'-0"	5'-0"×3'-0"	15,00			0.25
	010	F	FAMILY/ GYM	1	5'-6"	9'-0"	5'-6"×9'-0"	49,50	X		0.25
	011	G	FAMILY/ GYM	1	14'-0"	9'-6"	14'-0"×9'-6"	133,00	X		0.25
	012	H	LIBRARY	1	8'-2"	9'-6"	8'-2"×9'-6"	77,58	X		0.25
				13							
101 - MAIN LEVEL											
	101	I	ENTRANCE	1	3'-0"	9'-0"	3'-0"×9'-0"	27,00	X		0.25
	102	J	STAIR	1	8'-10"	11'-0"	8'-10"×11'-0"	97,17	X		0.25
	103	K	FAMILY	1	3'-0"	6'-0"	3'-0"×6'-0"	18,00	X		0.25
	104	L	FAMILY	1	4'-0"	6'-0"	4'-0"×6'-0"	24,00	X		0.25
	105	K	FAMILY	1	3'-0"	6'-0"	3'-0"×6'-0"	18,00	X		0.25
	106	I	KITCHEN	1	3'-0"	9'-0"	3'-0"×9'-0"	27,00	X		0.25
	107	M	KITCHEN	1	6'-0"	2'-0"	6'-0"×2'-0"	12,00			0.25
	108	M	KITCHEN	1	6'-0"	2'-0"	6'-0"×2'-0"	12,00			0.25
	109	L	KITCHEN	1	4'-0"	6'-0"	4'-0"×6'-0"	24,00	X		0.25
	110	I	LIVING	1	5'-4"	9'-0"	5'-4"×9'-0"	48,00	X		0.25
	111	N	LIVING	1	12'-2"	9'-0"	12'-2"×9'-0"	109,50	X		0.25
	112	O	GARAGE	1	5'-0"	2'-0"	5'-0"×2'-0"	10,00			0.25
	113	O	GARAGE	1	5'-0"	2'-0"	5'-0"×2'-0"	10,00			0.25
	114	P	MUD.	1	2'-6"	7'-6"	2'-6"×7'-6"	18,75	X		0.25
	115	P	MUD.	1	2'-6"	7'-6"	2'-6"×7'-6"	18,75	X		0.25

J1 WINDOW SCHEDULE											
LEVEL	ID	TYPE	ROOM	QUANTITY	WINDOW SIZE			W/D OPENING NOMINAL SURFACE AREA	SAFETY GLASS	EGRESS	U-VALUE
					NOMINAL WIDTH	NOMINAL HEIGHT	NOMINAL W x H SIZE				
				15							
201 - UPPER LEVEL											
	201	I.2	OFFICE	1	3'-0"	8'-0"	3'-0"×8'-0"	24,00	X		0.25
	202	Q	STAIR	1	12'-0"	8'-0"	12'-0"×8'-0"	96,00	X		0.25
	203	I.2	MASTER SUITE	1	3'-0"	8'-0"	3'-0"×8'-0"	24,00	X		0.25
	204	R	W. CLOSET	1	4'-0"	2'-0"	4'-0"×2'-0"	8,00			0.25
	205	R	M. BATH	1	4'-0"	2'-0"	4'-0"×2'-0"	8,00			0.25
	206	S	OFFICE	1	2'-6"	5'-0"	2'-6"×5'-0"	12,50			0.25
	207	S	OFFICE	1	2'-6"	5'-0"	2'-6"×5'-0"	12,50			0.25
				7							

PROJECT ZERO & BUILDING ELEVATIONS		
PROJECT ZERO	TRUE ELEVATION	ELEVATION TO PROJECT ZERO
PROJECT ZERO	+343.00	+0.00
AVERAGE BUILDING ELEVATION	+340.30	-2.70
GROUND LEVEL	+343.00	+0.00
MAXIMUM BUILDING HEIGHT	+370.30	+27.30
MAXIMUM BUILDING HEIGHT (ROOF HEIGHT EXCEPTIONS)	+370.30	+27.30
ACTUAL BUILDING HEIGHT	+366.25	+23.25

NOTE: ALL DIMENSION TO PROJECT ZERO, UCN.

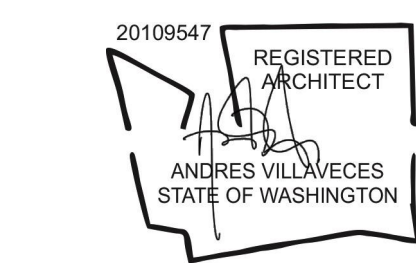
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Design
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 MERCER ISLAND, WA 98040

Architect Stamp



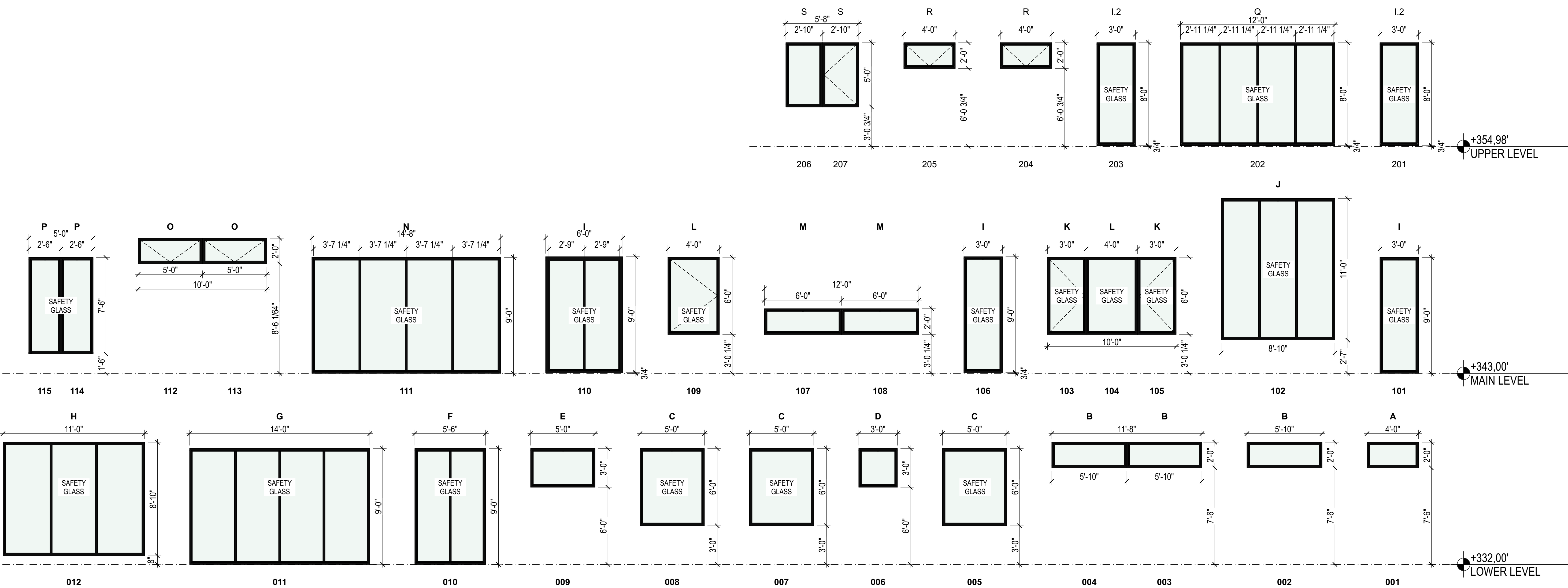
Project Name
YAROSLAVSKY RESIDENCE

9319 SE 43RD ST
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True North | Project North

Revision History

WINDOW TYPE



Sheet Size:
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Drawing Title:
WINDOW SCHEDULE

Drawing Status:
PERMIT SET

Issue Date:
 31/03/2021

Issue:

Revision:

SHEET NAME

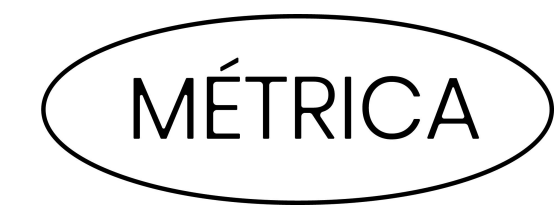
DOOR SCHEDULE

J1 DOOR SCHEDULE											
LEVEL	ID	TYPE	QUANTITY	ROOM	WIDTH	HEIGHT	W x H SIZE	W/D OPENING NOMINAL SURFACE AREA	EGRESS	SAFETY GLASS	SPECIFICATION
091 - LOWER LEVEL											
	001	A	1	PATIO	4'-0"	9'-6"	4'-0"x9'-6"	38.00	<input type="checkbox"/>	X	DOGGIE DOOR
	002	B	1	FAMILY/ GYM	3'-0"	9'-0"	3'-0"x9'-0"	27.00	<input checked="" type="checkbox"/>	X	
	003	B	1	BEDROOM 03	3'-0"	9'-0"	3'-0"x9'-0"	27.00	<input checked="" type="checkbox"/>	X	
	004	B	1	BEDROOM 02	3'-0"	9'-0"	3'-0"x9'-0"	27.00	<input checked="" type="checkbox"/>	X	
	005	B	1	ADU BED.	3'-0"	9'-0"	3'-0"x9'-0"	27.00	<input checked="" type="checkbox"/>	X	
	006	C	1	FAMILY/ GYM	3'-0"	8'-0"	3'-0"x8'-0"	24.00	<input type="checkbox"/>		
	007	C	1	BEDROOM 03	3'-0"	8'-0"	3'-0"x8'-0"	24.00	<input type="checkbox"/>		
	008	D	1	BATHROOM	2'-6"	8'-0"	2'-6"x8'-0"	20.00	<input type="checkbox"/>		
	009	C	1	BEDROOM 02	3'-0"	8'-0"	3'-0"x8'-0"	24.00	<input type="checkbox"/>		
	010	D	1	BATHROOM	2'-6"	8'-0"	2'-6"x8'-0"	20.00	<input type="checkbox"/>		
	011	D	1	ADU	2'-6"	8'-0"	2'-6"x8'-0"	20.00	<input type="checkbox"/>		
	012	O	1	PWD.	2'-6"	8'-0"	2'-6"x8'-0"	20.00	<input type="checkbox"/>		
	013	C	1	LAUNDRY	3'-0"	8'-0"	3'-0"x8'-0"	24.00	<input type="checkbox"/>		
	014	D	1	MECH.	2'-6"	8'-0"	2'-6"x8'-0"	20.00	<input type="checkbox"/>		
	015	O	1	ADU	2'-6"	8'-0"	2'-6"x8'-0"	20.00	<input type="checkbox"/>		
	016	O	1	ADU BATH.	2'-6"	8'-0"	2'-6"x8'-0"	20.00	<input type="checkbox"/>		
101 - MAIN LEVEL											
	101	E	1	ENTRANCE	5'-2"	9'-0"	5'-2"x9'-0"	46.50	<input type="checkbox"/>		
	102	F	1	DINING	24'-0"	10'-0"	24'-0"x10'-0"	240.00	<input type="checkbox"/>	X	LA CANTINA - FOLDING DOOR
	103	G	1	LIVING	9'-0"	10'-0"	9'-0"x10'-0"	90.00	<input type="checkbox"/>	X	LA CANTINA - FOLDING DOOR
	104	H	1	LIVING	2'-10"	9'-0"	2'-10"x9'-0"	25.50	<input type="checkbox"/>	X	DOGGIE DOOR
	105	I	1	GARAGE	19'-3"	11'-0"	19'-3"x11'-0"	211.75	<input type="checkbox"/>		
	106	C	1	MUD	3'-0"	8'-0"	3'-0"x8'-0"	24.00	<input type="checkbox"/>		
	107	C	1	STAIR	3'-0"	8'-0"	3'-0"x8'-0"	24.00	<input type="checkbox"/>		
	108	D	1	PWD.	2'-6"	8'-0"	2'-6"x8'-0"	20.00	<input type="checkbox"/>		
	109	J	1	FAMILY	5'-0"	8'-0"	5'-0"x8'-0"	40.00	<input type="checkbox"/>		
	110	K	1	PANTRY	4'-0"	8'-0"	4'-0"x8'-0"	32.00	<input type="checkbox"/>		
	111	L	1	GARAGE	3'-0"	10'-6"	3'-0"x10'-6"	31.50	<input type="checkbox"/>		
201 - UPPER LEVEL											
	201	M	1	MASTER BED.	9'-6"	8'-0"	9'-6"x8'-0"	76.00	<input checked="" type="checkbox"/>	X	
	202	N	1	MASTER BED.	10'-6"	8'-0"	10'-6"x8'-0"	84.00	<input type="checkbox"/>	X	
	203	H.1	1	OFFICE	3'-0"	8'-0"	3'-0"x8'-0"	24.00	<input type="checkbox"/>	X	
	204	D	1	OFFICE	2'-6"	8'-0"	2'-6"x8'-0"	20.00	<input type="checkbox"/>		
	205	O.2	1	M. BATH.	3'-0"	8'-0"	3'-0"x8'-0"	24.00	<input type="checkbox"/>		
	206	D	1	M. BATH.	2'-6"	8'-0"	2'-6"x8'-0"	20.00	<input type="checkbox"/>		
	207	D	1	W. CLOSET	2'-6"	8'-0"	2'-6"x8'-0"	20.00	<input type="checkbox"/>		
	208	C	1	MASTER BED.	3'-0"	8'-0"	3'-0"x8'-0"	24.00	<input type="checkbox"/>		
35											

PROJECT ZERO & BUILDING ELEVATIONS	TRUE ELEVATION	ELEVATION TO PROJECT ZERO
PROJECT ZERO:	+343.00	+0.00
AVERAGE BUILDING ELEVATION	+340.30	-2.70
GROUND LEVEL:	+343.00	+0.00
MAXIMUM BUILDING HEIGHT:	+370.30	+27.30
MAXIMUM BUILDING HEIGHT (ROOF HEIGHT EXCEPTIONS):	+370.30	+27.30
ACTUAL BUILDING HEIGHT:	+366.25	+23.25

NOTE: ALL DIMENSION TO PROJECT ZERO, UCN.

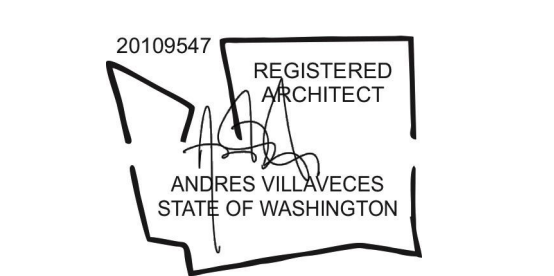
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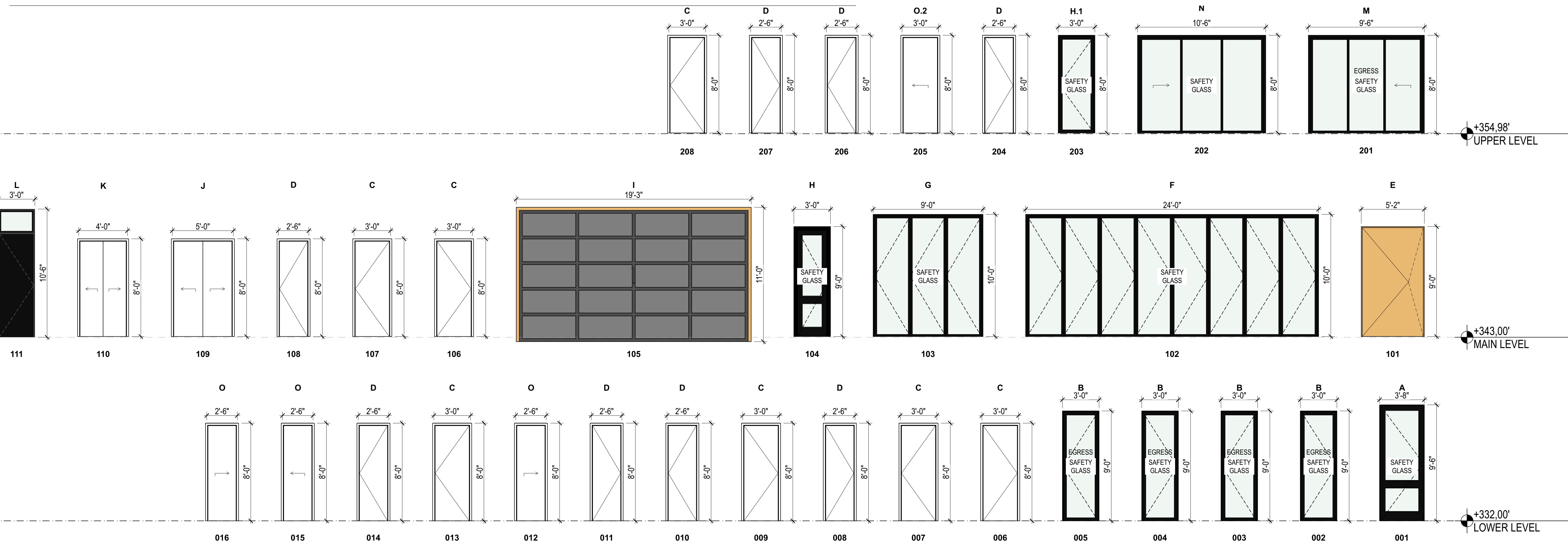
Design
METRICA LLC
 500 YALE AVE N, FLOOR 1
 SEATTLE WA 98109

Owner
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 MERCER ISLAND, WA 98040

Architect Stamp



DOOR TYPE



Project Name
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True North | Project North

Revision History

Sheet Size:
 34" x 36"

Drawing Title:
DOOR SCHEDULE

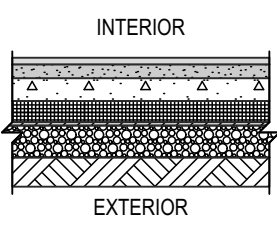
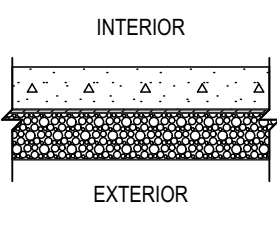
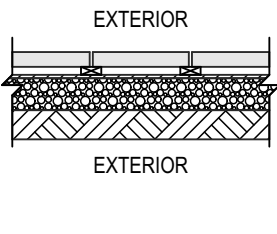
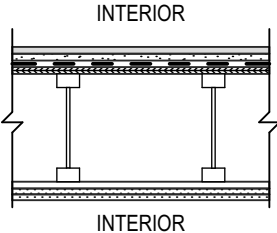
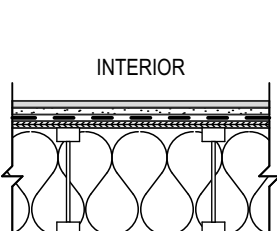
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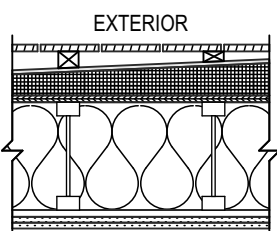
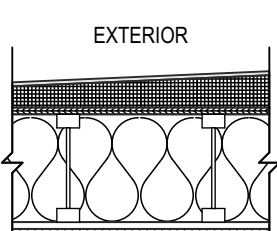
Issue Date:
 31/03/2021

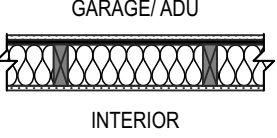
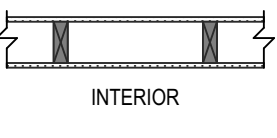
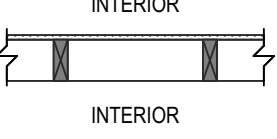
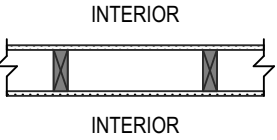
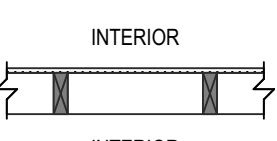
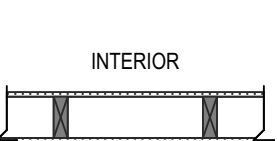
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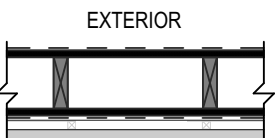
Revision:

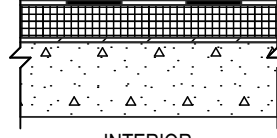
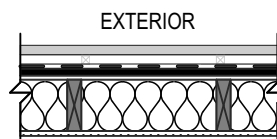
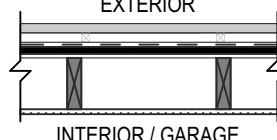
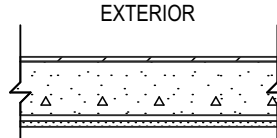
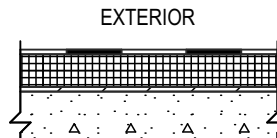
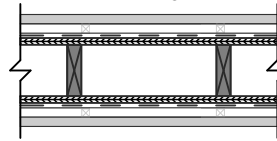
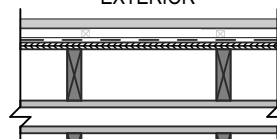
SHEET NAME

FLOOR & ROOF ASSEMBLIES				
TYPE	DETAIL	DESCRIPTION	RATING	THERMAL
F1		SLAB ON GRADE 10" • 3/4" FINISH FLOOR • 2" FLOOR TOPPING • CONCRETE SLAB PER STRUCTURAL • 2" RIGID INSULATION R10, UNDER ENTIRE SLAB • VAPOR BARRIER • 6" LEVELED GRAVEL PER ESTRUCTURAL		R-10
F2		SLAB ON GRADE 10" • CONCRETE SLAB PER STRUCTURAL • VAPOR BARRIER • 6" LEVELED GRAVEL PER ESTRUCTURAL		
F3		SLAB ON GRADE / EXTERIOR PAVERS • PAVERS • PEDESTALS • VAPOR BARRIER • 6" LEVELED GRAVEL		
F4		INTERIOR / INTERIOR FLOOR • FINISH FLOOR • 3/4" FLOOR TOPPING MIXTURE • 1/8" FLOOR MAT • SHEATHING AND NAILING PER STRUCTURAL • FLOOR FRAMING PER STRUCTURAL • RESILIENT CHANNELS • TWO (2) 5/8" GWB		
F5		EXTERIOR / INTERIOR FLOOR • FINISH FLOOR • 3/4" FLOOR TOPPING MIXTURE • 1/8" FLOOR MAT • SHEATHING AND NAILING PER STRUCTURAL • FLOOR FRAMING PER STRUCTURAL • R-38 BATT INSULATION • TWO (2) 5/8" TYPE "X" GWB	1 HR	R-38

R1		EXTERIOR / INTERIOR FLOOR • DECK • TPO WATER PROOFING • SLOPED RIGID INSULATION • SHEATHING AND NAILING PER STRUCTURAL • FLOOR FRAMING PER STRUCTURAL • R-49 BATT INSULATION • RESILIENT CHANNELS • TWO (2) 5/8" TYPE "X" GWB	1 HR	R-49
R2		EXTERIOR / INTERIOR FLOOR • TPO WATER PROOFING • SLOPED RIGID INSULATION • SHEATHING AND NAILING PER STRUCTURAL • FLOOR FRAMING PER STRUCTURAL • R-49 BATT INSULATION • RESILIENT CHANNELS • TWO (2) 5/8" TYPE "X" GWB	1 HR	R-49

INTERIOR WALL ASSEMBLIES					
TYPE	DETAIL	DESCRIPTION	RATING	THERMAL	STC RATING
A1		TYP. INTERIOR 2X6 INSULATED WALL • PRIMER & PAINT • 5/8" TYPE "X" GWB • 1 LAYER 3/4" PLYWOOD • 2X6 @ 16" O.C. • R-21 BATT INSULATION • 5/8" TYPE "X" GWB • PRIMER & PAINT	1 HR	R-21	
A2		TYP. INTERIOR 2X6 WALL • PRIMER & PAINT • 1/2" GWB • 2X6 @ 16" O.C. • 1/2" GWB • PRIMER & PAINT			
A3		TYP. INTERIOR 2X4 WALL • PRIMER & PAINT • 5/8" GWB • 2X4 @ 16" O.C.			
A4		TYP. INTERIOR 2X4 WALL • PRIMER & PAINT • 5/8" GWB • 2X4 @ 16" O.C. • 5/8" GWB • PRIMER & PAINT			
A5		TYP. INTERIOR 2X6 WALL • PRIMER & PAINT • 5/8" GWB • 2X6 @ 16" O.C.			
A6		TYP. INTERIOR 2X6 WALL • PRIMER & PAINT • 5/8" GWB • 2X6 @ 16" O.C. • 1 LAYER 3/4" PLYWOOD • 2X6 @ 16" O.C. • 5/8" GWB • PRIMER & PAINT			

EXTERIOR WALL ASSEMBLIES					
TYPE	DETAIL	DESCRIPTION	RATING	THERMAL	STC RATING
P1		TYP. PARAPET 2X6 WALL • WEATHER RESISTANT BARRIER • SHEATHING AND NAILING PER STRUCTURAL • 2X6 @ 16" O.C. • SHEATHING AND NAILING PER STRUCTURAL • WEATHER RESISTANT BARRIER • SIDING PER ELEVATION			

EXTERIOR WALL ASSEMBLIES					
TYPE	DETAIL	DESCRIPTION	RATING	THERMAL	STC RATING
E1		TYP. EXTERIOR BASEMENT WALL W/ INSULATION • DRAIN MAT • RIGID INSULATION R-10 • WATERPROOF EMULSION • 8" CAST IN PLACE CONCRETE PER STRUCTURAL		R-10	
E2		TYP. EXTERIOR WALL / INTERIOR 2X6 SIDING W/ INSULATION • SIDING PER ELEVATION • VERTICAL FURRING @ 18" O.C • WEATHER RESISTANT BARRIER • MIN. 1/2" THICK PLYWOOD APPLY VERTICALLY WITH VERTICAL JOINTS OVER STUDS SHEATHING AND NAILING PER STRUCTURAL • 2X6 @ 16" O.C. • R-21 BATT INSULATION • 5/8" GWB APPLIED VERTICALLY • PRIMER & PAINT		R-21	
E3		TYP. EXTERIOR WALL / INTERIOR 2X6 SIDING W/ INSULATION • SIDING PER ELEVATION • VERTICAL FURRING @ 18" O.C • WEATHER RESISTANT BARRIER • MIN. 1/2" THICK PLYWOOD APPLY VERTICALLY WITH VERTICAL JOINTS OVER STUDS SHEATHING AND NAILING PER STRUCTURAL • 2X6 @ 16" O.C. • R-21 BATT INSULATION • 5/8" GWB APPLIED VERTICALLY • PRIMER & PAINT			
E4		TYP. EXTERIOR FOUNDATION WALL • DRAIN MAT • WATERPROOF EMULSION • 8" CAST IN PLACE CONCRETE PER STRUCTURAL • AIR SPACE • HORIZONTAL FURRING @ 18" O.C • 5/8" GWB • PRIMER & PAINT			
E5		TYP. EXTERIOR FOUNDATION WALL • DRAIN MAT • RIGID INSULATION R-10 • WATERPROOF EMULSION • 8" CAST IN PLACE CONCRETE PER STRUCTURAL • AIR SPACE • BATT INSULATION • HORIZONTAL FURRING @ 18" O.C • 5/8" GWB • PRIMER & PAINT		R-10	
E6		TYP. EXTERIOR WALL / INTERIOR 2X6 SIDING W/ INSULATION • SIDING PER ELEVATION • VERTICAL FURRING @ 18" O.C • WEATHER RESISTANT BARRIER • MIN. 1/2" THICK PLYWOOD APPLY VERTICALLY WITH VERTICAL JOINTS OVER STUDS SHEATHING AND NAILING PER STRUCTURAL • 2X6 @ 16" O.C. • MIN. 1/2" THICK PLYWOOD APPLY VERTICALLY WITH VERTICAL JOINTS OVER STUDS SHEATHING AND NAILING PER STRUCTURAL • WEATHER RESISTANT BARRIER • VERTICAL FURRING @ 18" O.C • SIDING PER ELEVATION			
E7		TYP. EXTERIOR WALL / INTERIOR 2X6 SIDING W/ INSULATION • SIDING PER ELEVATION • VERTICAL FURRING @ 18" O.C • WEATHER RESISTANT BARRIER • MIN. 1/2" THICK PLYWOOD APPLY VERTICALLY WITH VERTICAL JOINTS OVER STUDS SHEATHING AND NAILING PER STRUCTURAL • 2X6 @ 16" O.C. • ONE (1) LAYER 5/8" SHEATHING • AIR SPACE • ONE (1) LAYER 5/8" SHEATHING • 2X6 @ 16" O.C. • MIN. 1/2" THICK PLYWOOD APPLY VERTICALLY WITH VERTICAL JOINTS OVER STUDS SHEATHING AND NAILING PER STRUCTURAL • WEATHER RESISTANT BARRIER • VERTICAL FURRING @ 18" O.C • SIDING PER ELEVATION			

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MAXIMUM BUILDING HEIGHT (ROOF HEIGHT EXCEPTIONS):	+370.30	+27.30
ACTUAL BUILDING HEIGHT:	+386.25	+23.25

NOTE: ALL DIMENSION TO PROJECT ZERO, UCON.

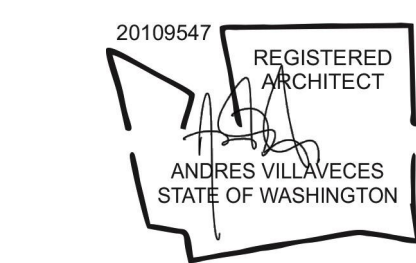
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True North | Project North

Revision History

Sheet Size:
 24" x 36"

Drawing Title:
ASSEMBLIES

Drawing Status:
PERMIT SET

Issue Date:
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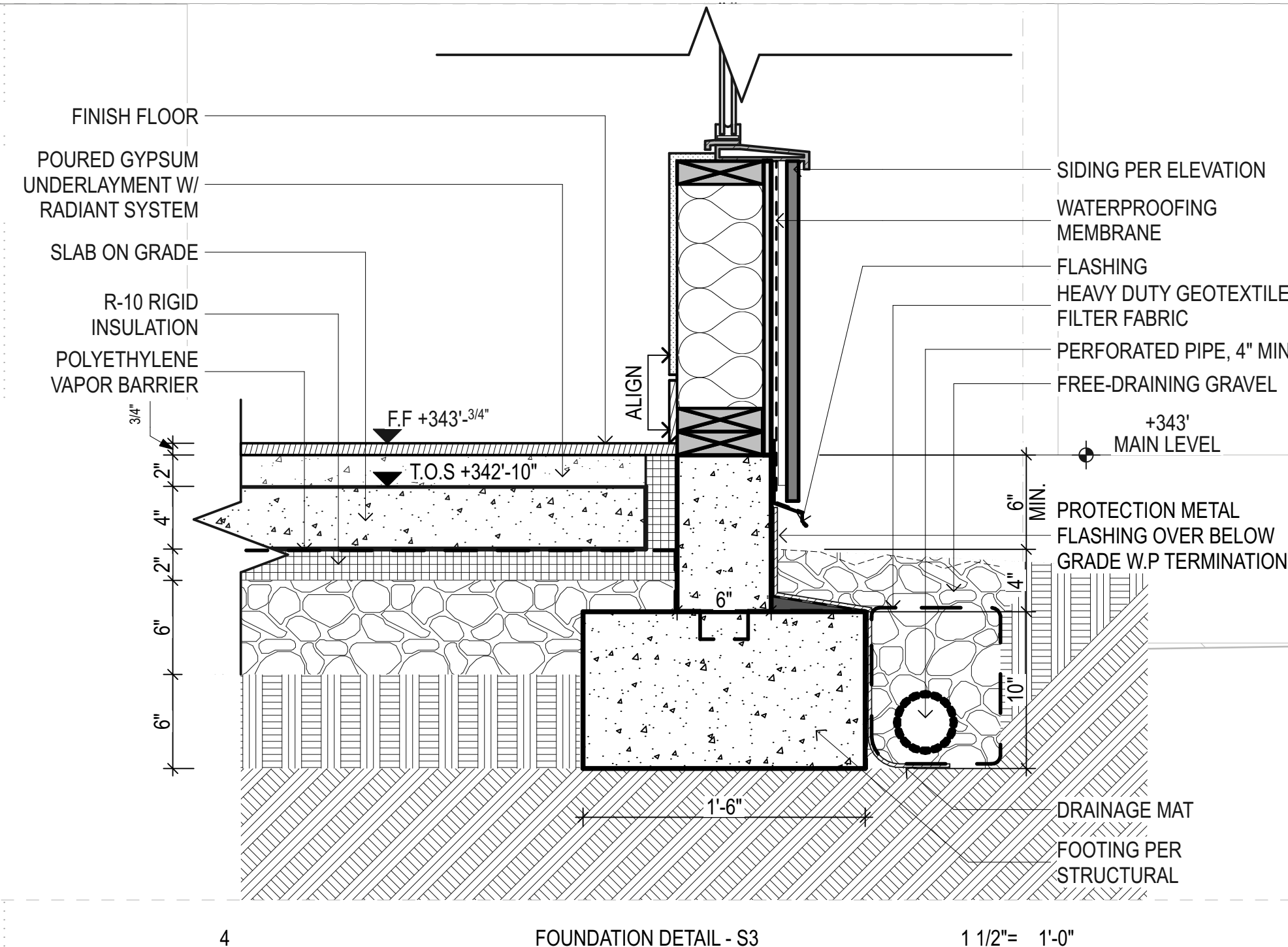
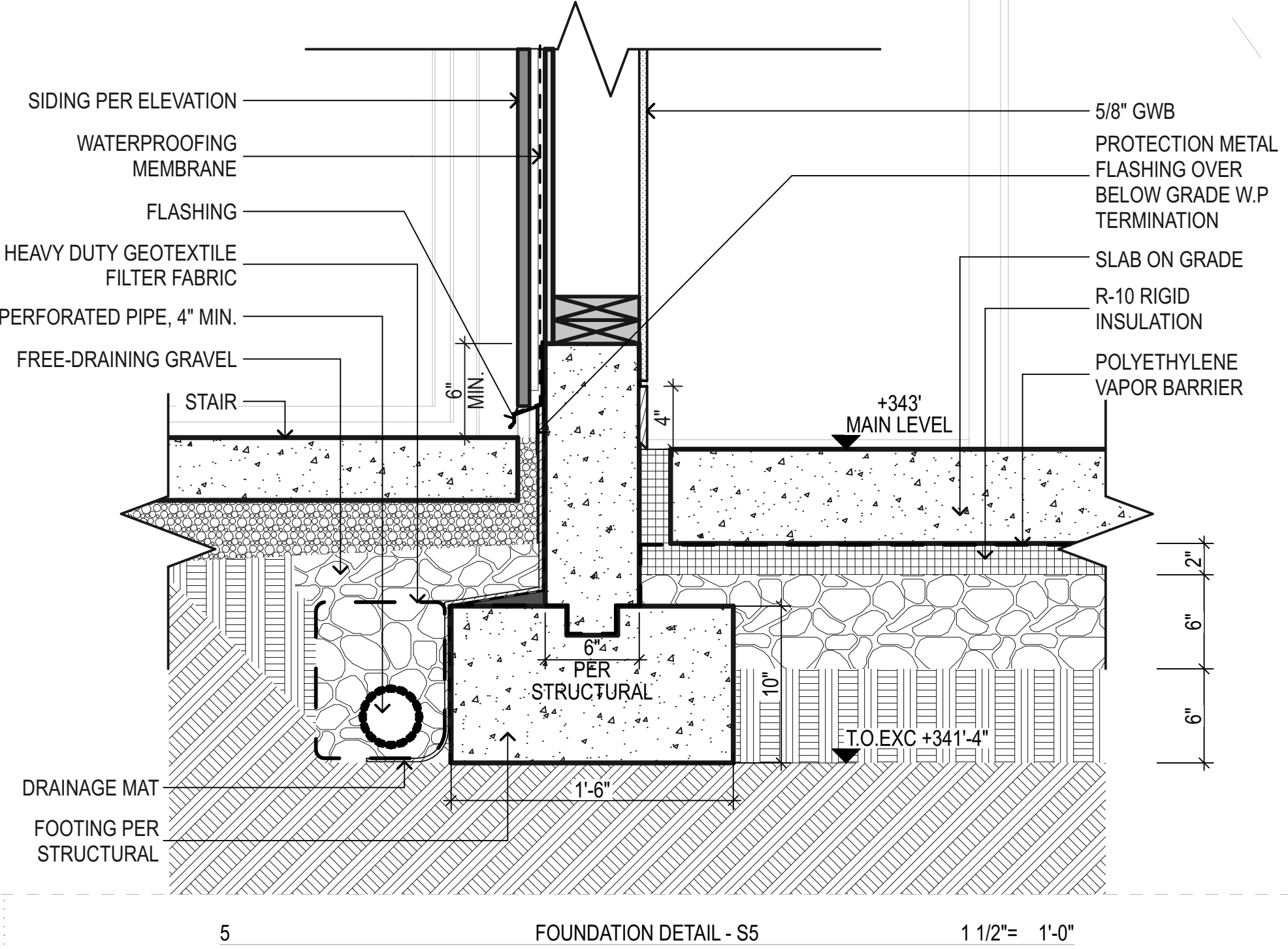
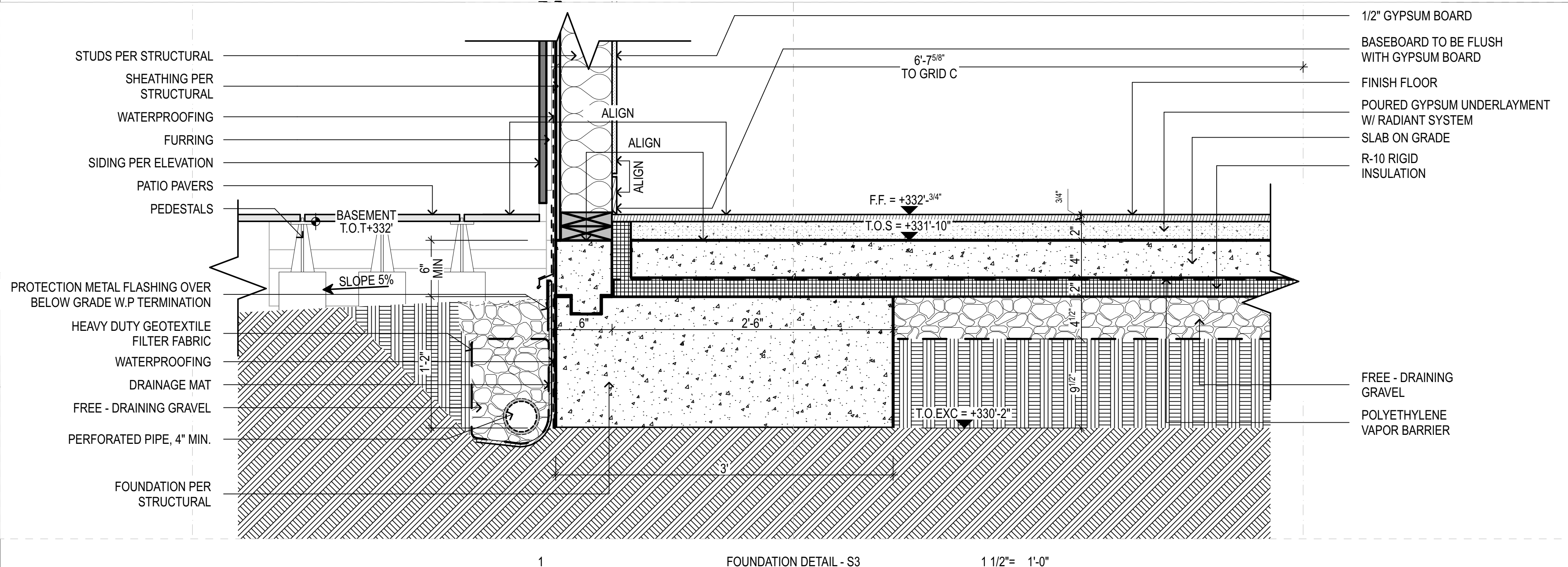
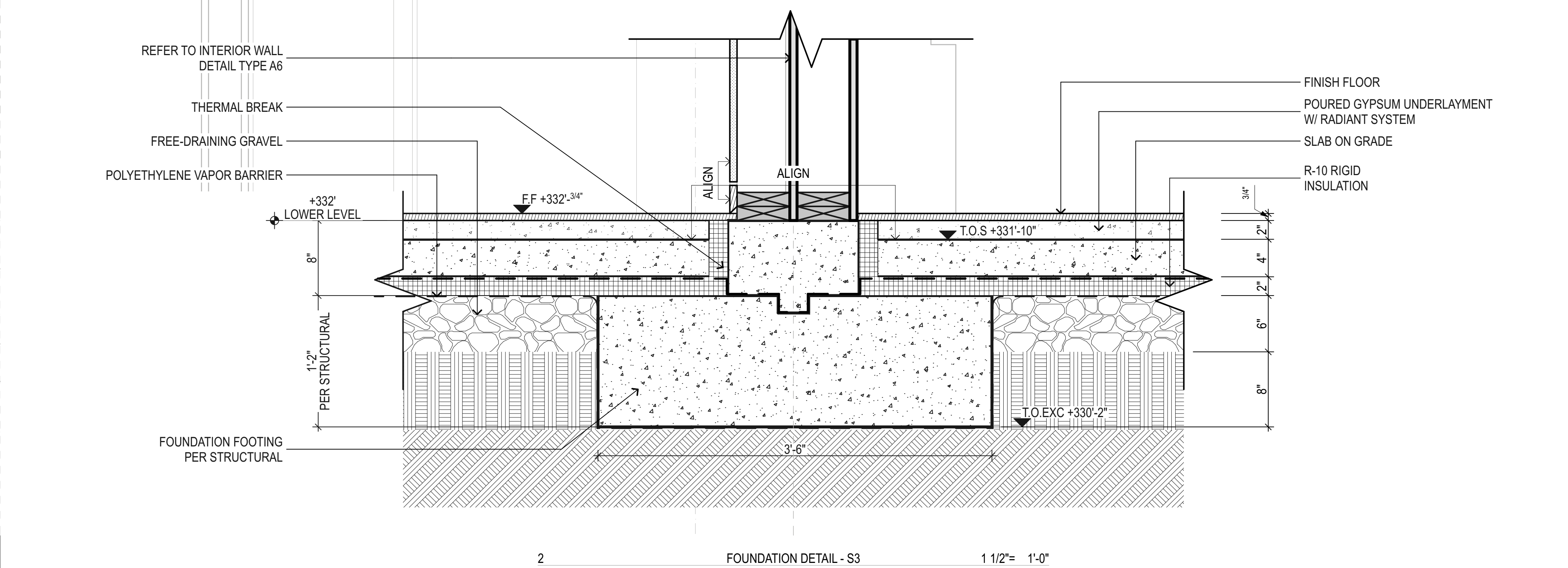
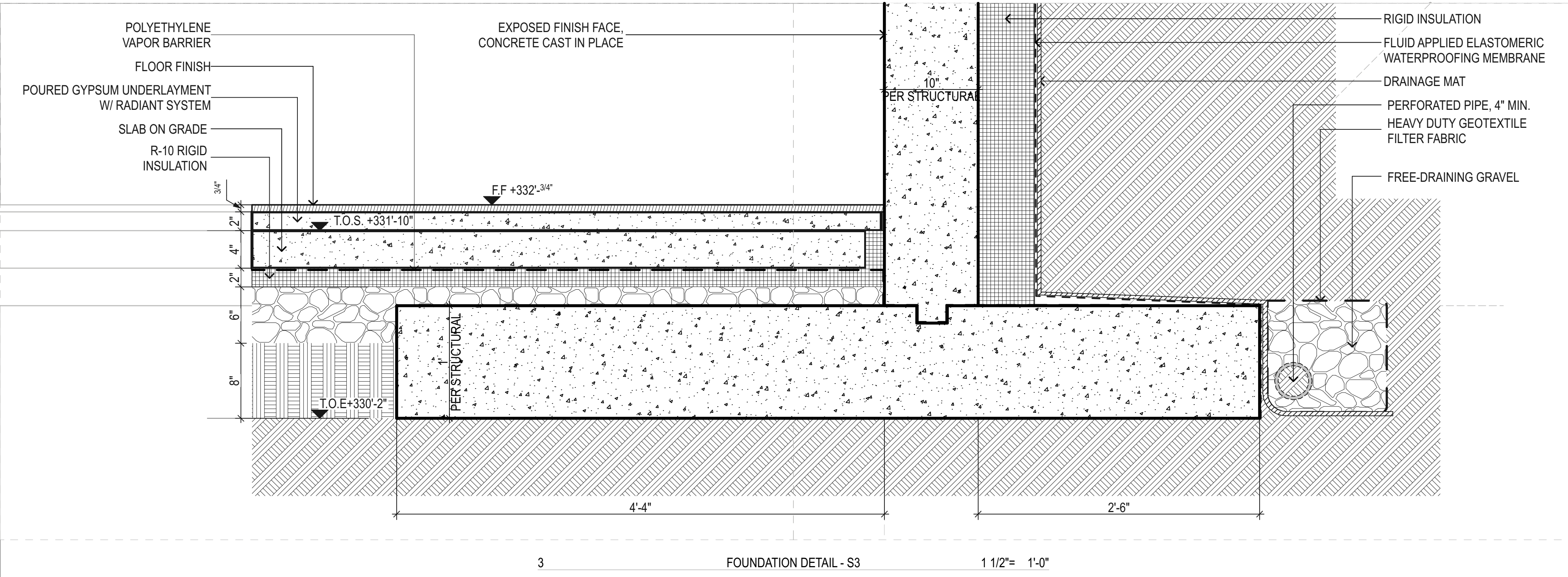


Project Name
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True North Project North

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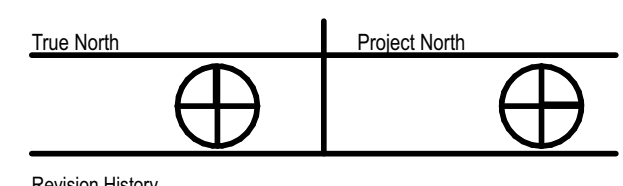
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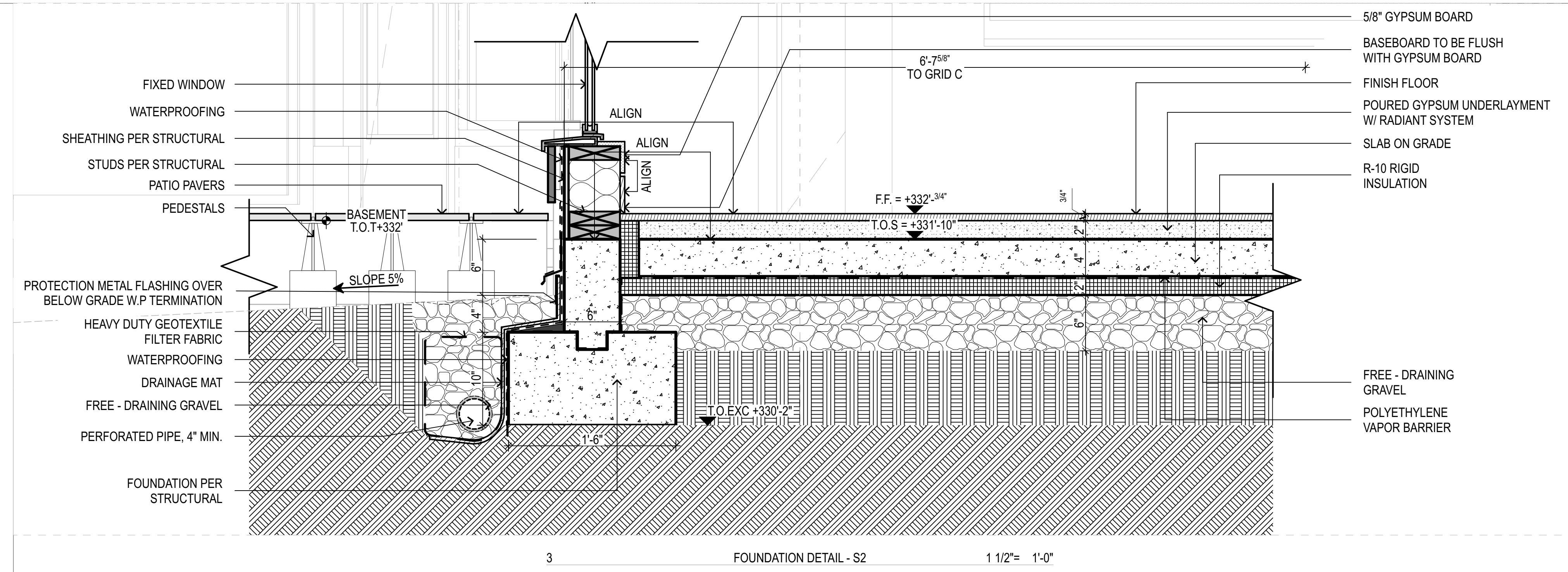
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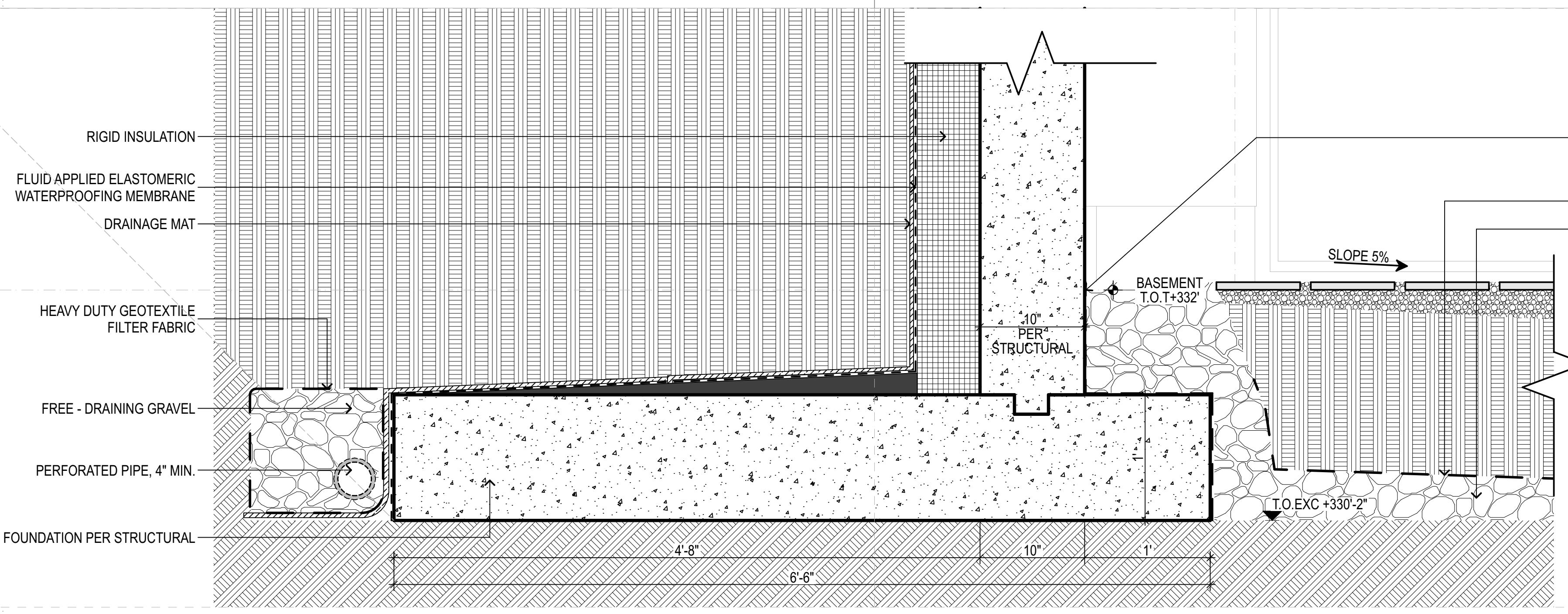
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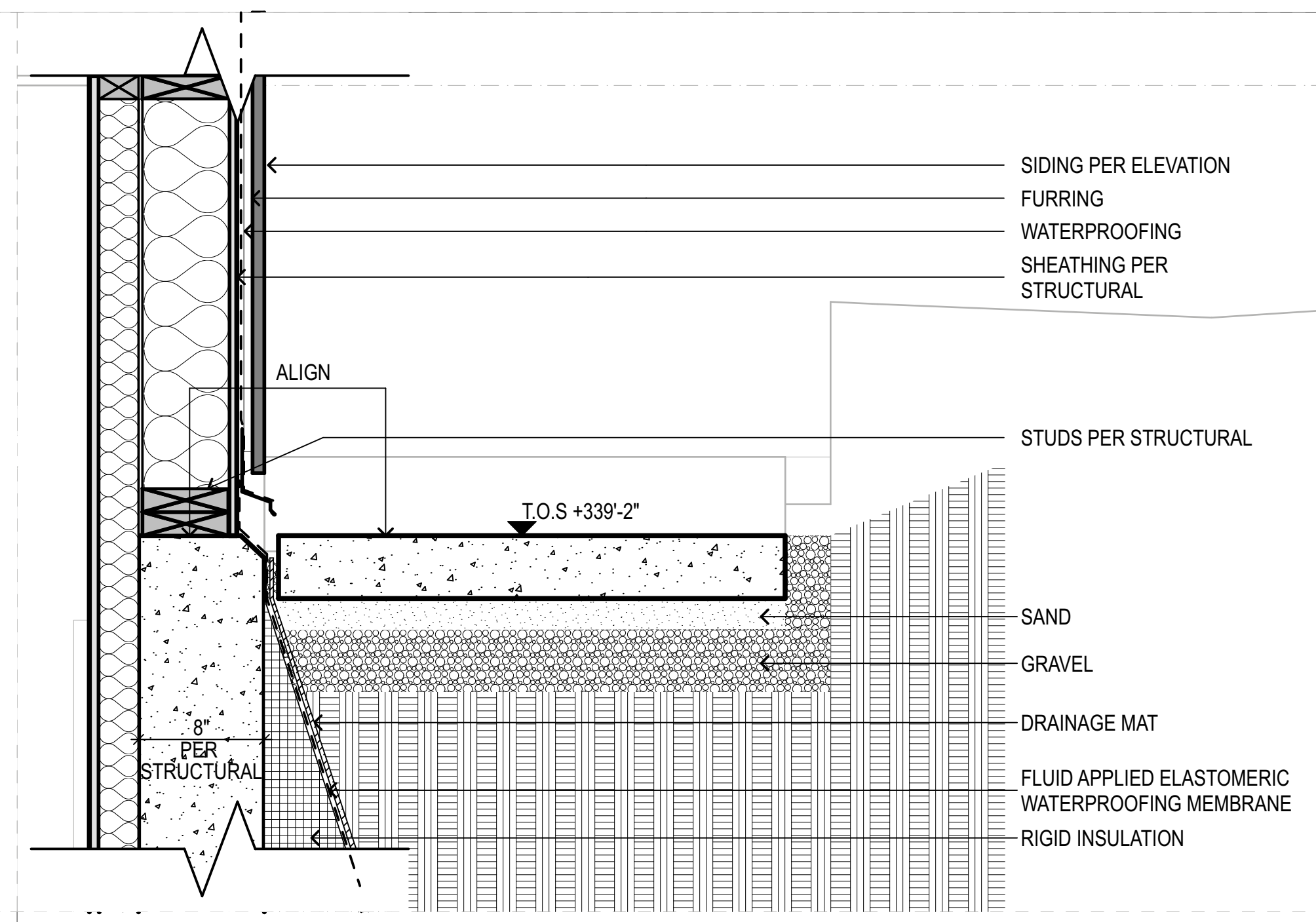
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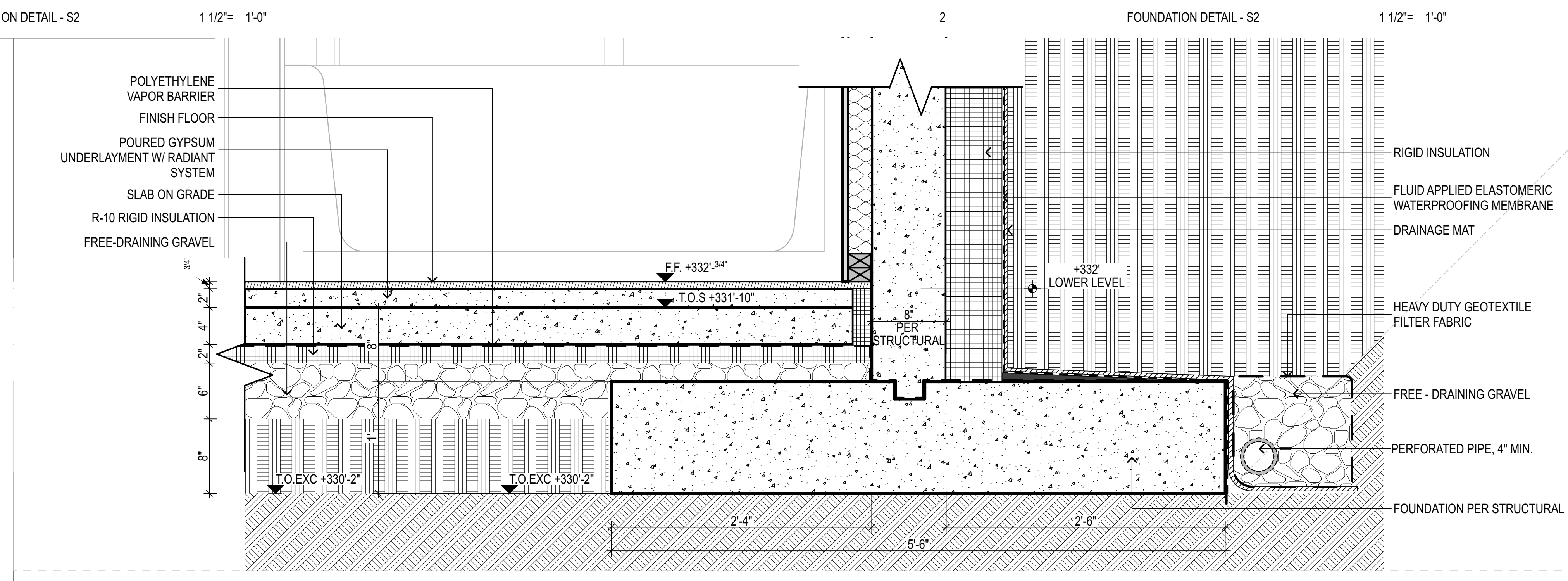
3 FOUNDATION DETAIL - S2 1 1/2" = 1'-0"



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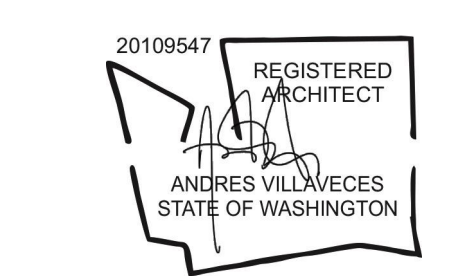
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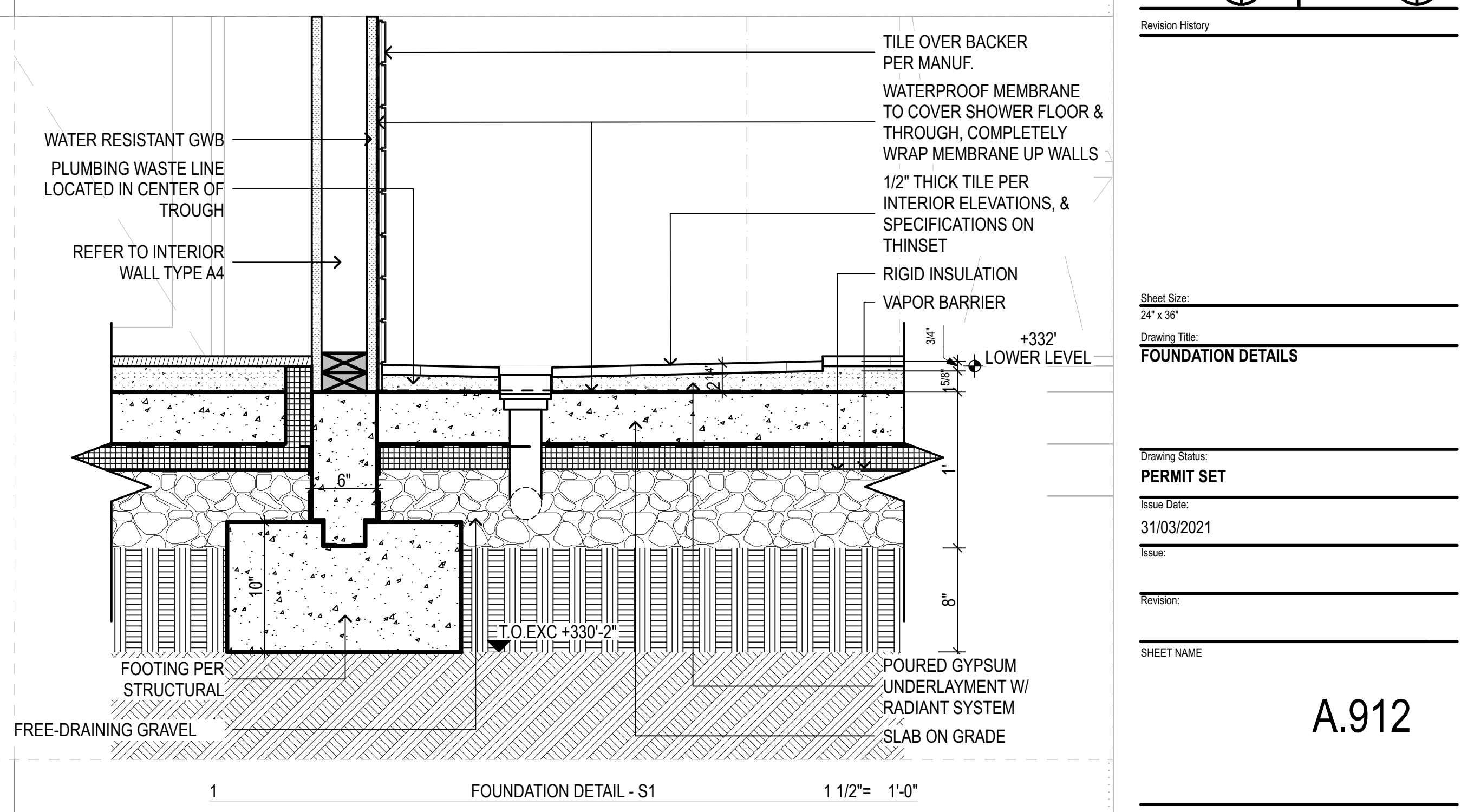
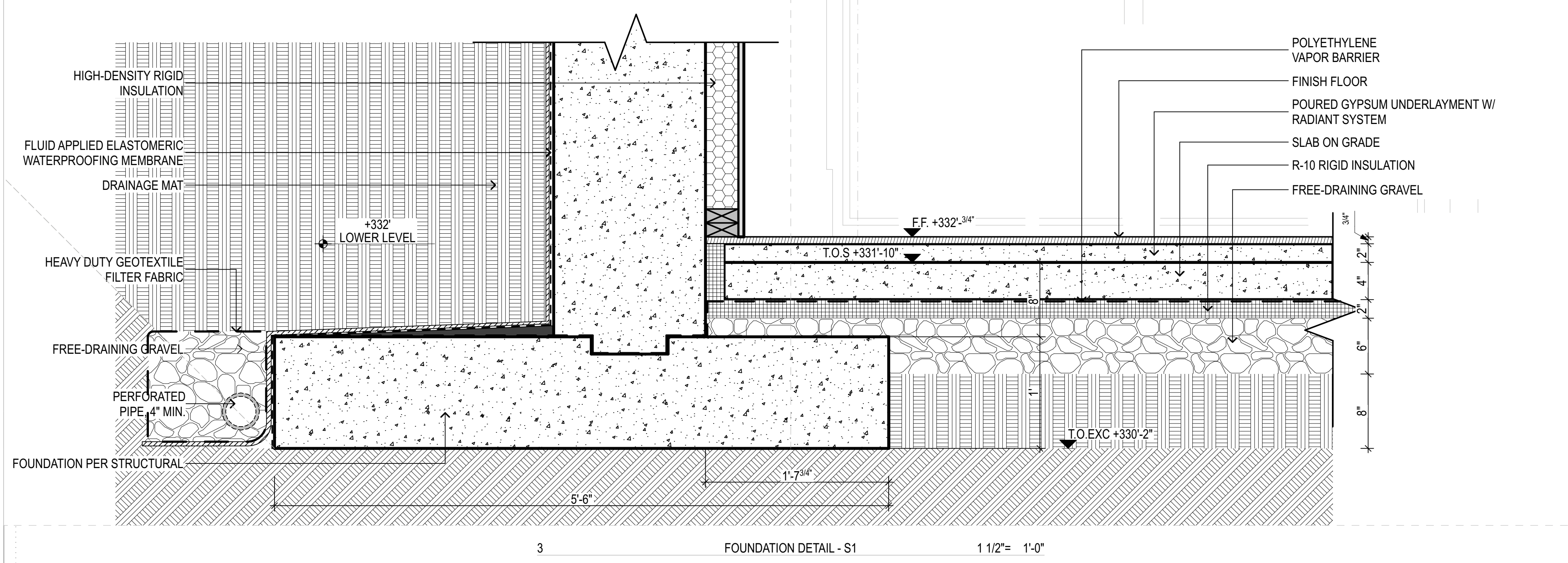
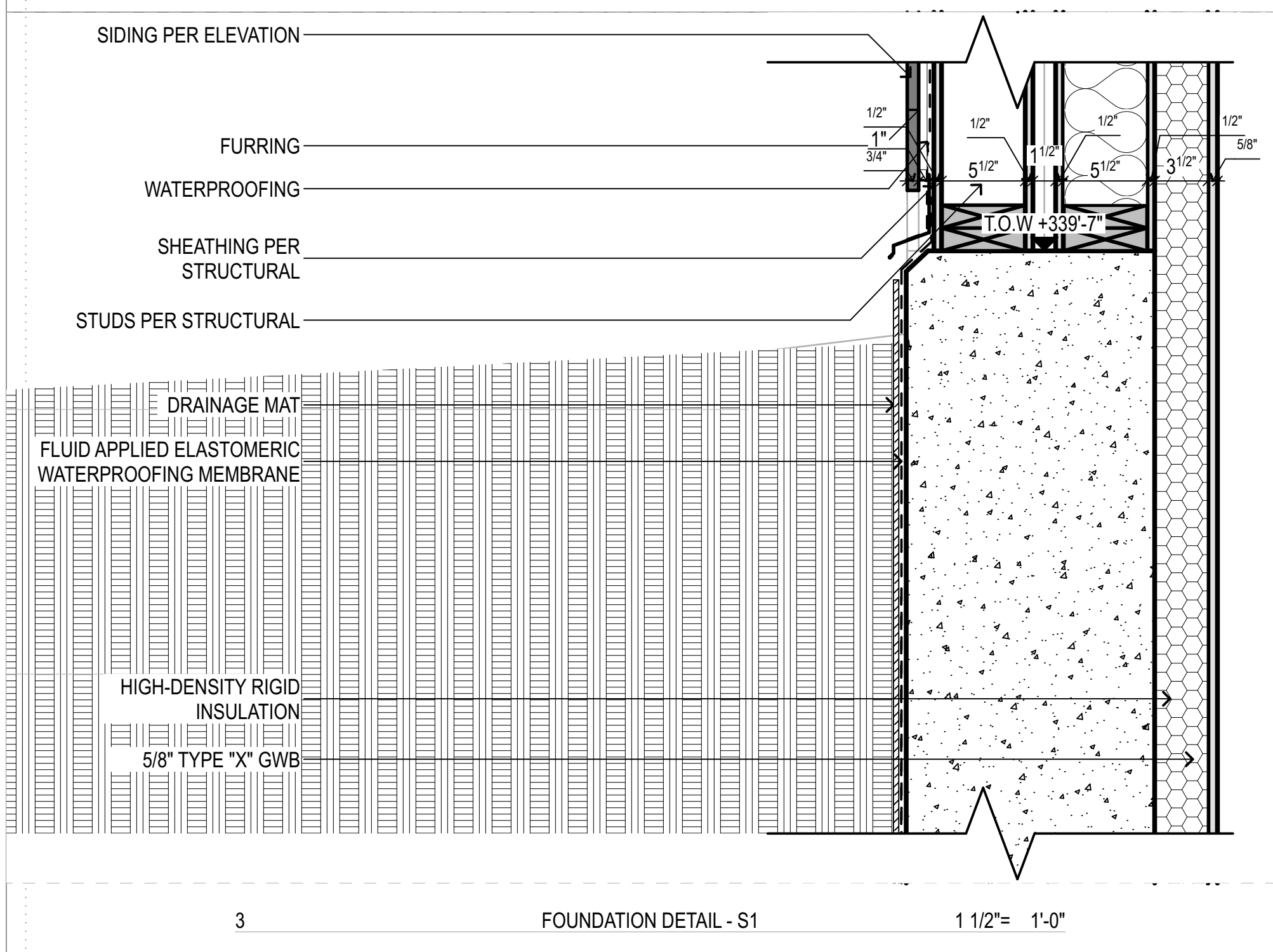
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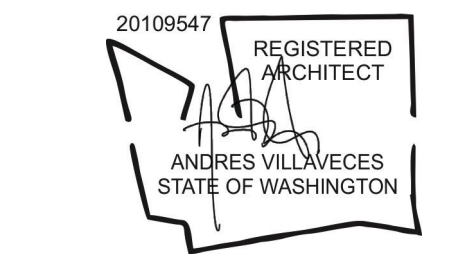
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ROOF DETAIL

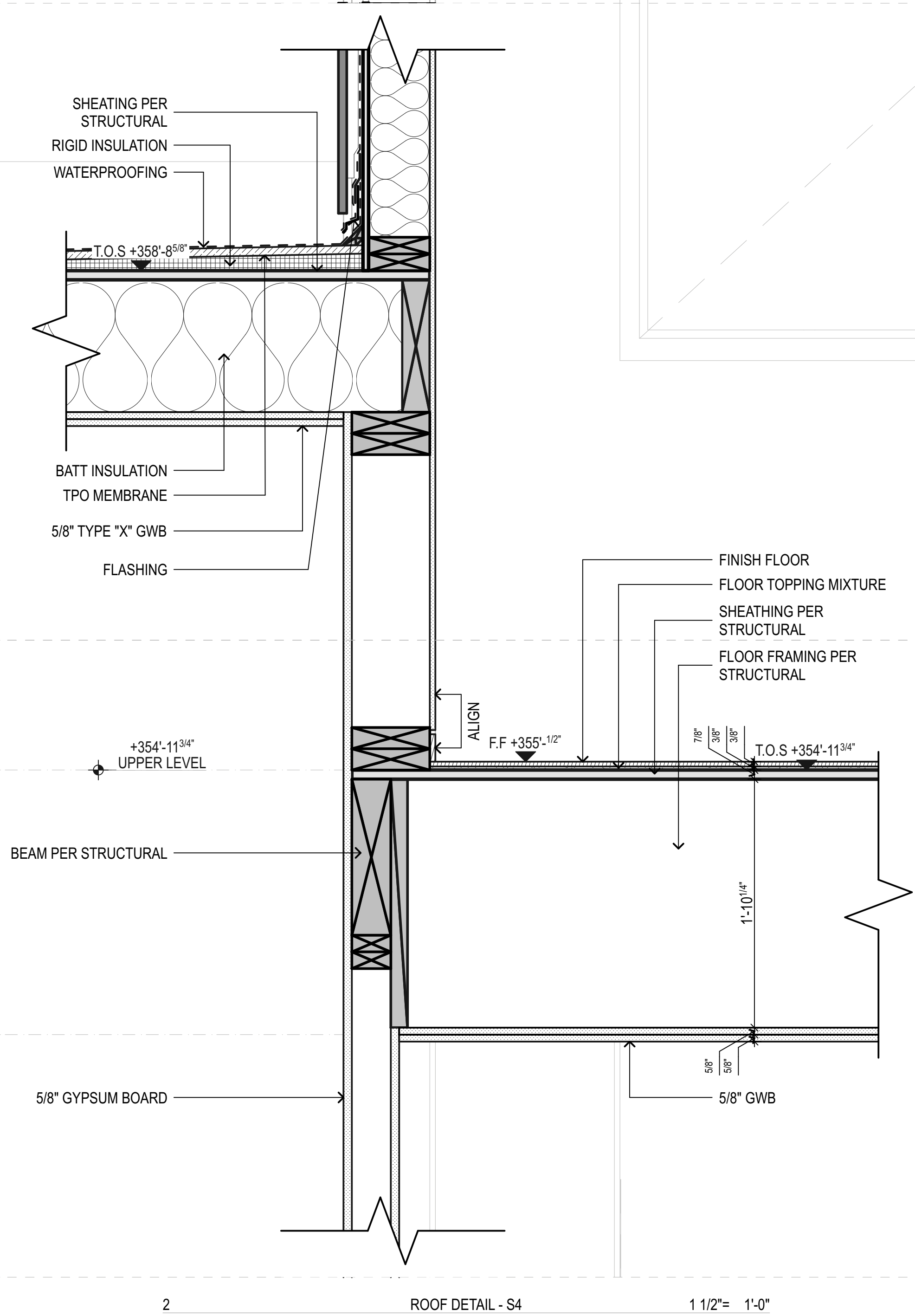
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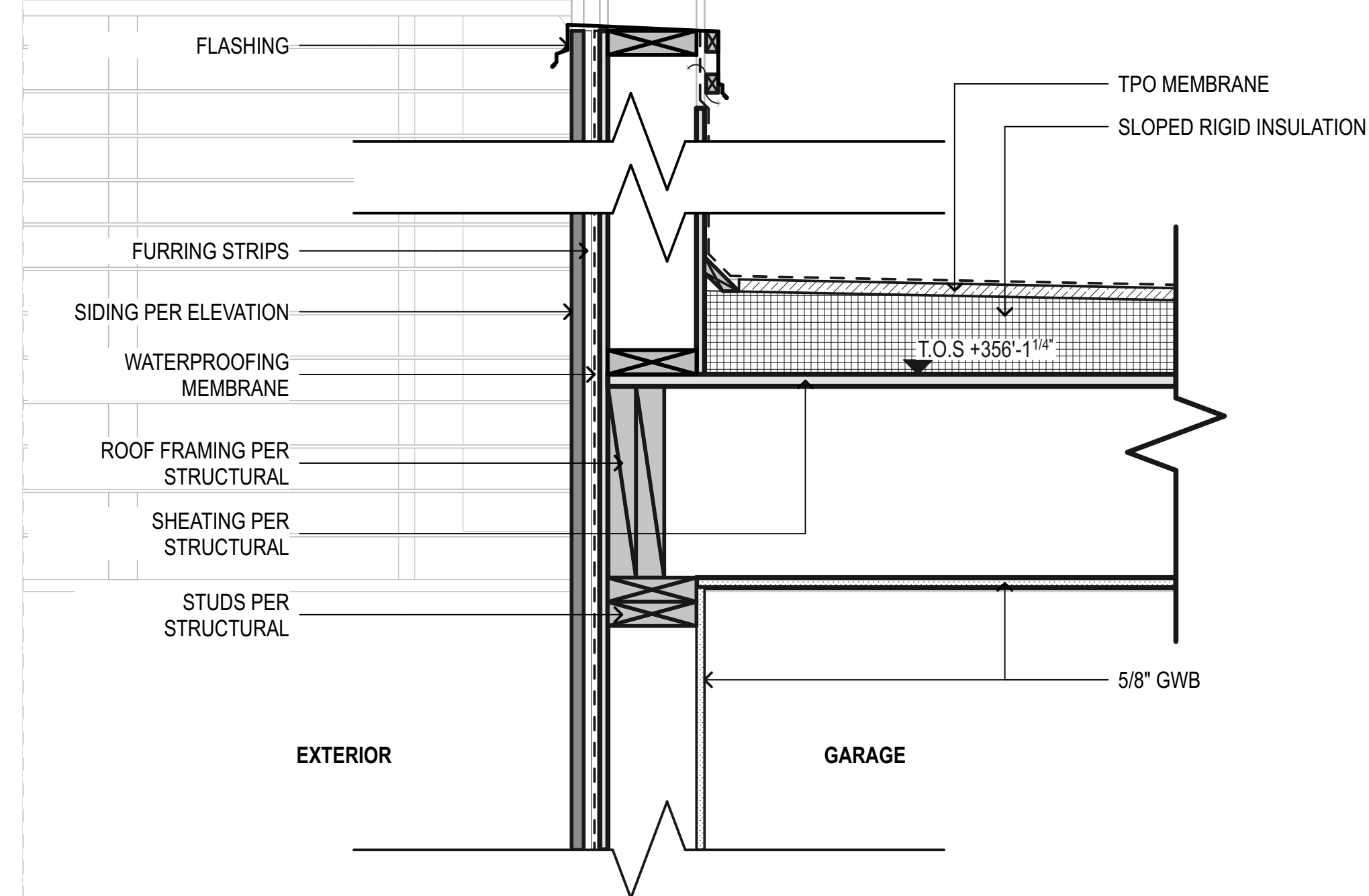
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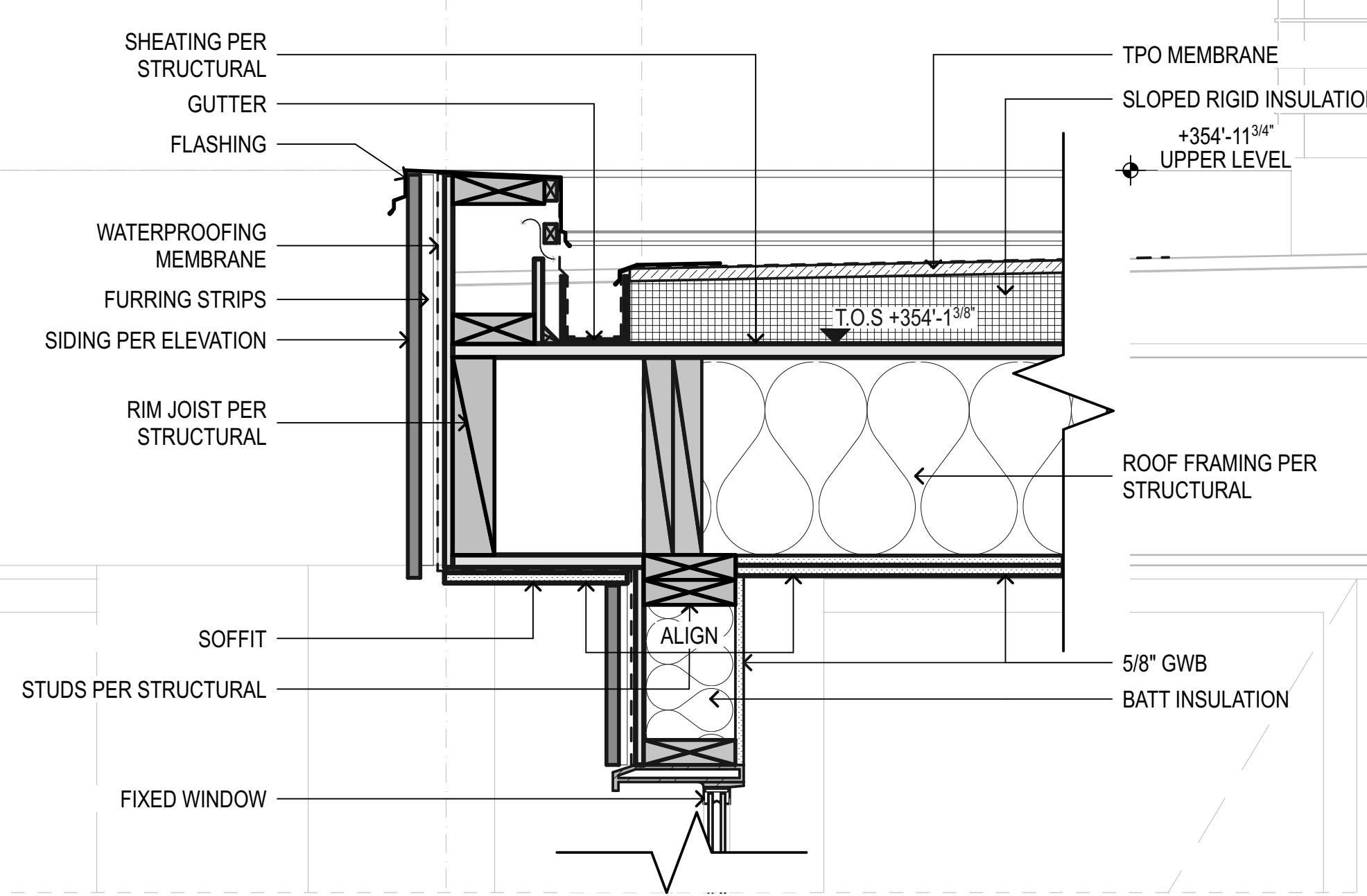
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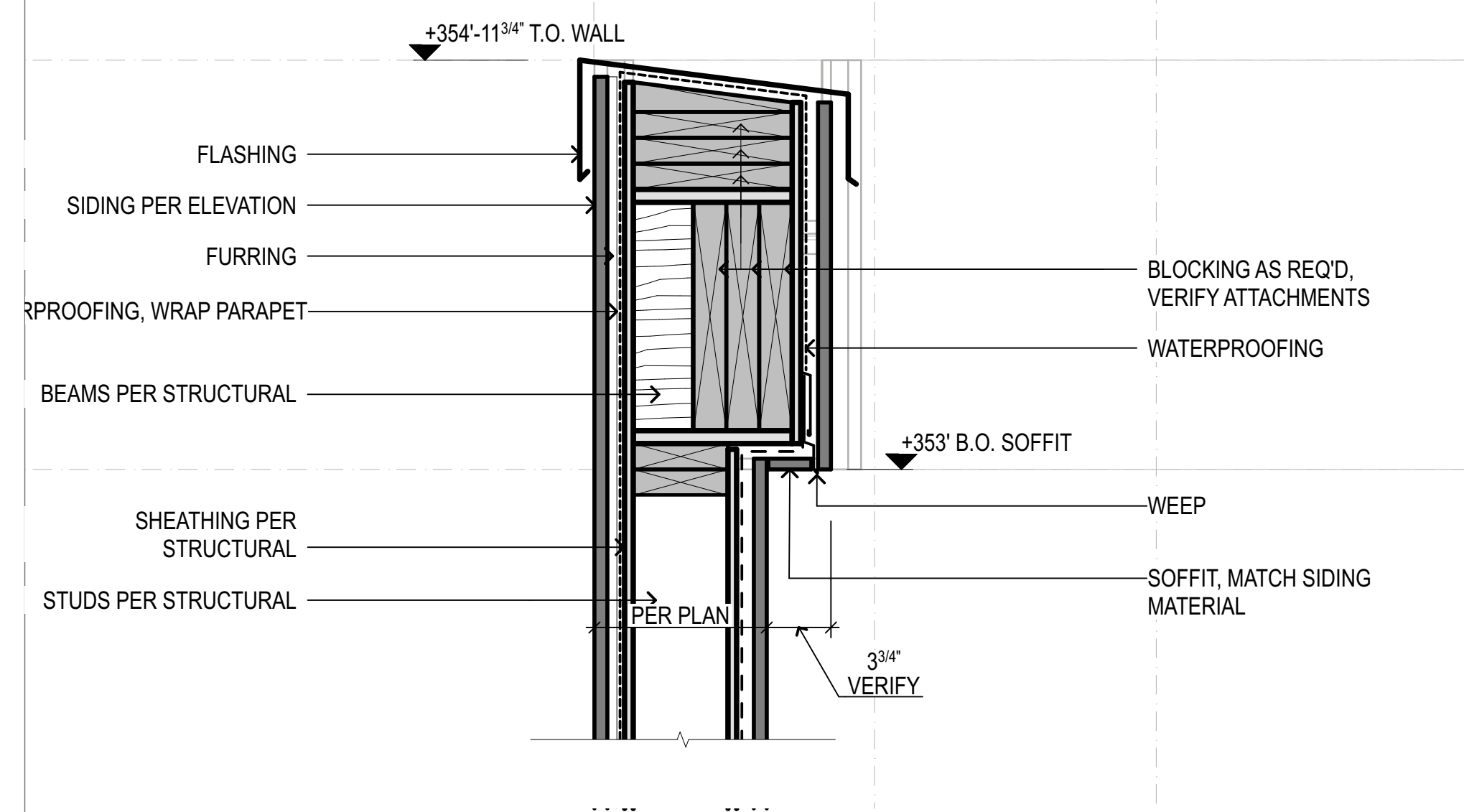
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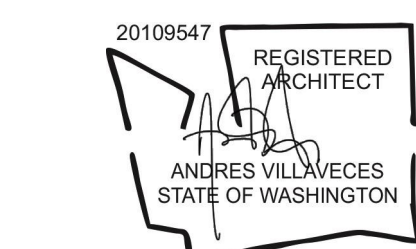
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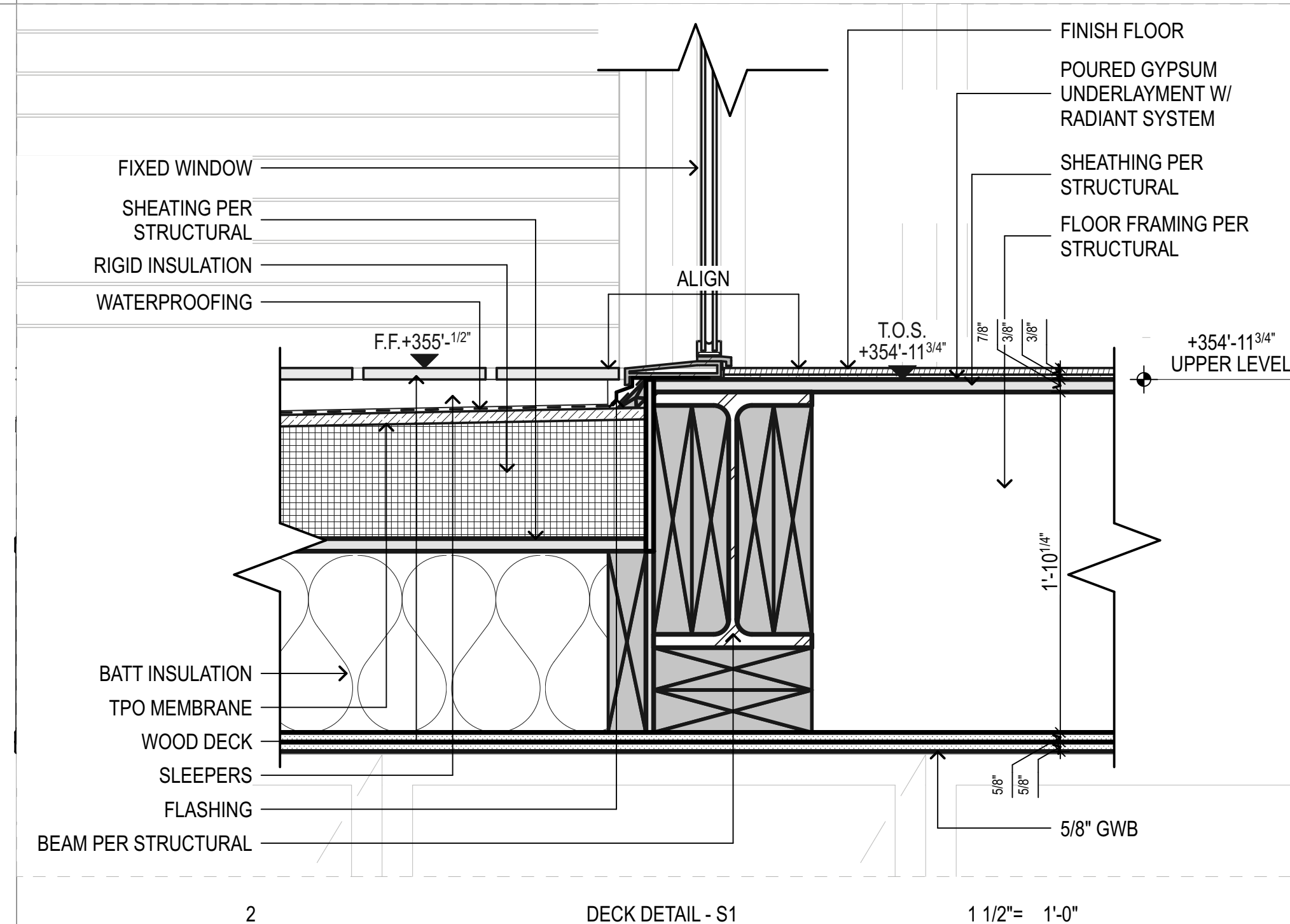
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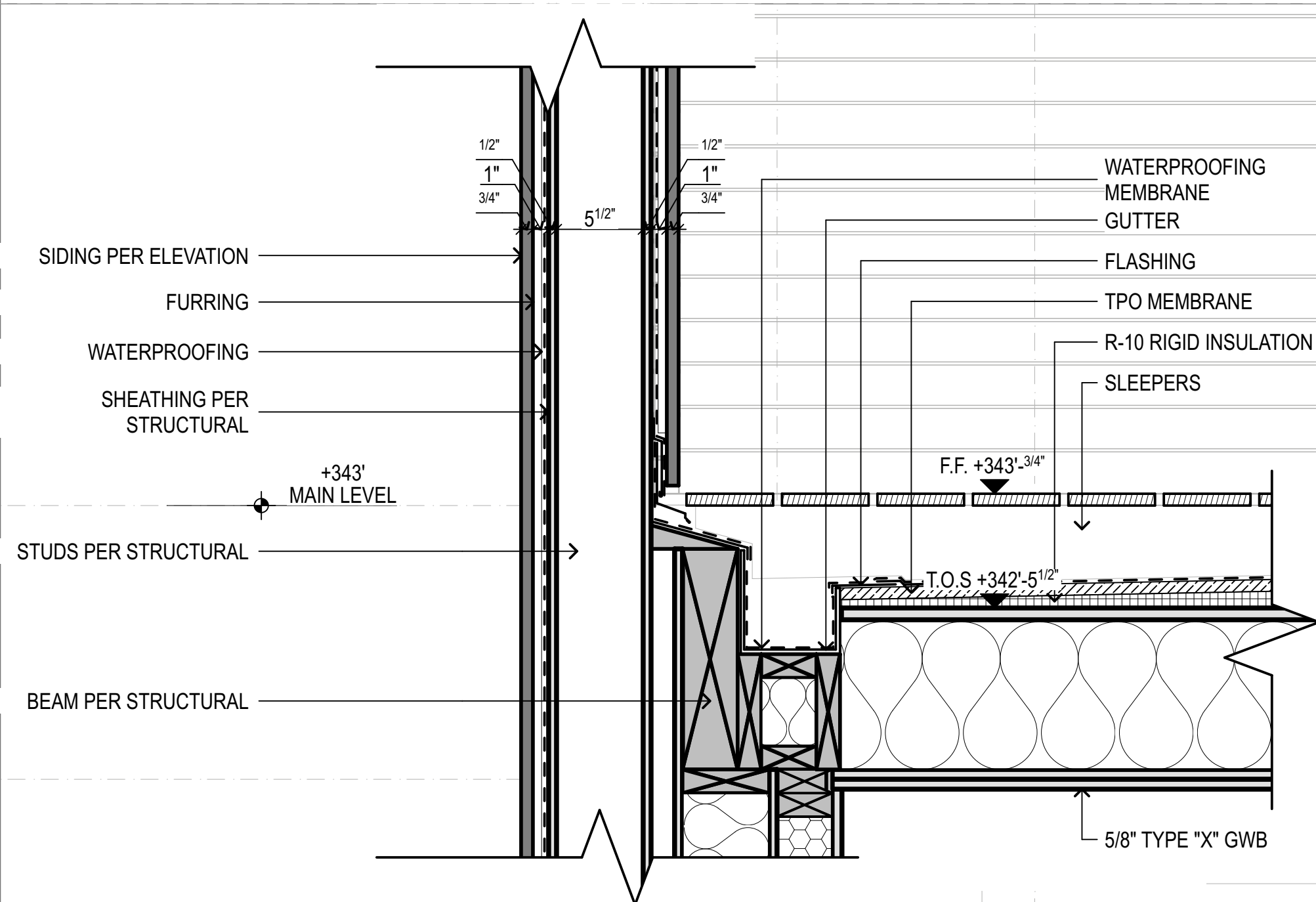
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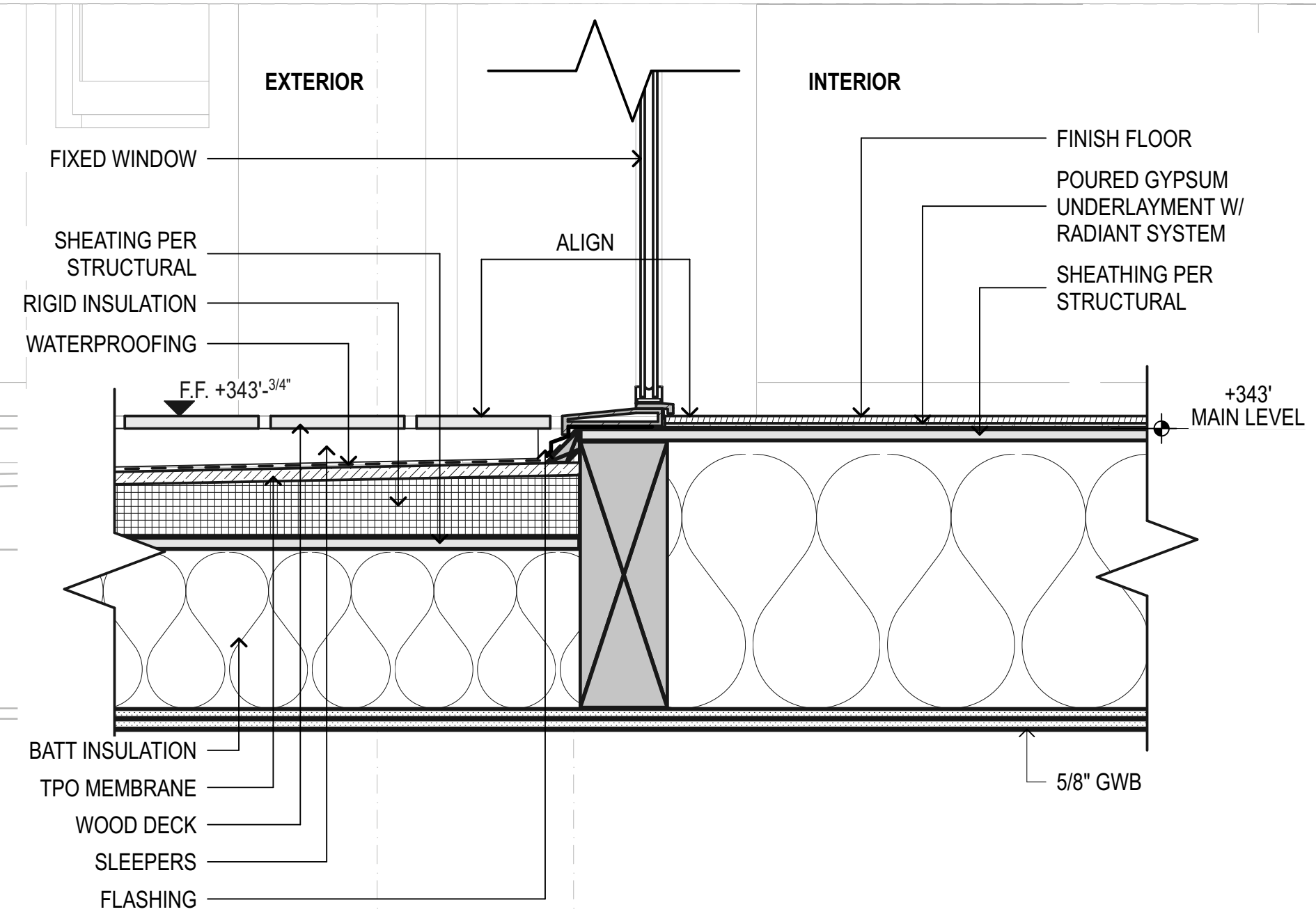
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2 DECK DETAIL - S1 1 1/2" = 1'-0"



3 DECK DETAIL - S1 1 1/2" = 1'-0"



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GENERAL

1. Read structural Drawings in conjunction with other related Drawings, including existing Drawings, for dimensions, elevations, roof and floor slopes, presence of openings and inserts, existing underground services, and existing mechanical/electrical elements.

2. Do not scale off of the Drawings or digital files. Written dimensions take precedent. Hard copy Drawings are the official documents for the Project and take precedence over digital files.

3. For Projects overseen by a Construction Manager or Design-Build Contractor in lieu of a General Contractor, references in all notes and specifications to "Contractor" shall apply to the relevant Subcontractor(s).

4. Where notes and specifications require submittals by a Professional Engineer, the Engineer must be licensed at the place where the Project is located.

5. Prior to commencement of Work, Contractor shall compare all related Drawings, confirm all dimensions, and field measure/confirm all existing conditions. Report any discrepancies to the Architect and Engineer of Record ("Consultant" henceforth).

6. If discrepancies relating to structural Work are found in the various documents, the more stringent provisions shall apply, unless approved by the Consultant. Specifications control over these Drawings and General Notes only where the Specifications provide for more stringent requirements. Contractor, suppliers, and subcontractors are to ensure they are working with the "Issued for Construction" documents.

7. Unsolicited alternative proposals and unsolicited substitutions of materials, structure, connections, or otherwise must be submitted with sketches and calculations sealed by a Professional Engineer. Alternative proposals and substitutions will require review by the Architect and Consultant. Such review will be undertaken on an additional fee basis, at the Contractor's cost, and does not guarantee acceptance of the alternative proposal(s).

8. Contractor is solely responsible for bracing the structure and all components during construction, including any underpinning of adjacent structures.

9. These Drawings show requirements for the completed structure only. Contractor is responsible for the design and inspection of falsework, shoring, and reshoring.

10. All shop drawing reviews by the Consultant constitute review for general concepts only. Contractor remains responsible for the detailed design. Assemble and erect all components in accordance with final reviewed shop and erection drawings. Do not fabricate or erect until Consultant has completed review.

11. Do not cut or drill openings in any portion of the structure without written approval of the Consultant.

12. Applicable Codes and Standards:

Building Code	International Building Code (IBC), 2018 edition with statewide and City of Mercer Island amendments
ACI 318	American Concrete Institute, "Building Code Requirements for Structural Concrete," 2014 edition
AISC 303	American Institute of Steel Construction, "Code of Standard Practice for Steel Buildings and Bridges," 2016 Edition
AISC 341	American Institute of Steel Construction, "Seismic Provisions for Structural Steel Buildings," 2016 Edition
AISC 360	American Institute of Steel Construction, "Specification for Structural Steel Buildings," 2016 edition
AISI S100	American Iron and Steel Institute, "North American Specification for Design of Cold-Formed Steel Structural Members," 2012 edition
APA PRG 320	American National Standards Institute / Engineered Wood Association, "Standard for Performance-Rated Cross-Laminated Timber," 2018 edition
ASCE 7	American Society of Civil Engineers, "Minimum Design Loads for Buildings and Other Structures," 2016 edition
ASTM AWS A2.4	American Society for Testing and Materials (ASTM International) American Welding Society, "Symbols for Welding and Nondestructive Testing," 2012 edition
AWS D1.1	American Welding Society, "Structural Welding Code — Steel," 2015 edition
AWS D1.3	American Welding Society, "Structural Welding Code — Sheet Steel," 2008 edition
AWS D1.4	American Welding Society, "Structural Welding Code — Reinforcing Steel," 2011 edition
AWS D1.8	American Welding Society, "Structural Welding Code — Seismic Supplement," 2016 edition
ICC	International Code Council — Evaluation Services (ICC-ES)
NDSC	"National Design Specification for Wood Construction," 2018 edition
RCS	Research Council on Structural Connections, "Specification for Structural Joints Using High-Strength Bolts," 2014 edition
TMS 402	The Masonry Society, "Building Code Requirements for Masonry Structures," 2013 edition

13. Design Loads:

a) Superimposed Dead Loads:	30 psf (typical) 30 psf (exterior deck) 15 psf (high roof)
b) Live Loads:	40 psf (typical) 60 psf (exterior deck)
c) Roof Live Load:	20 psf (See also Snow Loads)
d) Snow Loads:	25 psf + 5 psf (rain on snow)
1) Flat Roof Snow Load, pf:	0.9
2) Snow Exposure Factor, Ce:	1.0
3) Snow Load Importance Factor, Is:	1.2
4) Thermal Factor, Ct:	
5) Drift Loads: As shown on plan	
e) Wind Design Data:	
1) Ultimate Design Wind Speed, Vult:	98 mph
2) Nominal Design Wind Speed, Vasd:	76 mph
3) Risk Category:	II
4) Exposure Category:	B
5) Internal Pressure Coefficient:	+ 0.18, - 0.18
f) Seismic Design Data:	
1) Risk Category:	II
2) Seismic Importance Factor, Ie:	1.0
3) Mapped Spectral Response Acceleration Parameter, Ss:	1.415
4) Mapped Spectral Response Acceleration Parameter, S1:	0.492
5) Site Class:	D
6) Design Spectral Response Acceleration Parameter, SDS:	0.943
7) Design Spectral Response Acceleration Parameter, SD1:	0.495
8) Seismic Design Category:	D
9) Basic Seismic Force-Resisting System:	LWLF walls with wood struct. panels / steel OMF
10) Design Base Shear:	57 kips
11) Seismic Response Coefficient, CS:	0.145 / 0.27
12) Response Modification Coefficient, R:	6.5 / 3.5
13) Analysis Procedure Used:	Equivalent Lateral Force

14. Design of secondary component items, including their attachment to the structure, is the responsibility of others. See "Secondary Components and Their Attachments" section of these General Notes.

15. Supply of Record Drawings is outside the scope of services.

SPECIAL INSPECTIONS AND TESTS

1. The following items require special inspections by an approved agency in accordance with Chapter 17 of the International Building Code. Discrepancies shall be brought to the immediate attention of the contractor for correction.

Item	Description	IBC Requirements
Soils	Existing site soil conditions, fill placement, and load-bearing requirements	Table 1705.6
Concrete Construction	Reinforcement, formwork, cast-in-place concrete, shotcrete, precast concrete, prestressed and post-tensioned concrete, cast-in anchors, post-installed anchors	Section 1705.3 and Table 1705.3
Structural Steel	Fabrication and erection, including welding and high-strength bolting	Section 1705.2.1
Prefabricated Wood Structural Elements and Assemblies		Section 1704.2.5

2. Periodic structural observations will be performed by the Consultant or Consultant's designated agent. Structural observation is for general compliance with the structural concepts only and does not take the place of special inspections. Contractor is responsible to give reasonable advance notice of when structural Work is ready for observation, minimum 48 hours prior to pour or concealment.

3. Additional inspections and testing resulting from rejection of more than five percent of the Work will be at Contractor's expense.

FOUNDATIONS

1. Design of foundations is based on the geotechnical report of April 5, 2019 by Cobalt Geosciences. Any interpretation of the geotechnical report by the Contractor is solely the responsibility of that Contractor.

2. Spread footings have been designed for a net allowable bearing pressure of 2,500 psf, as stated in the geotechnical report. All footings shall bear on soil capable of supporting this pressure without failure or undue settlement. If native soil or fill are found during construction to have a lower bearing pressure, notify the Geotechnical Engineer and Consultant, and provide revised foundations to the Consultant's specifications.

3. Minimum depth of frost penetration is estimated to be 12".

4. Owner shall retain a Professional Geotechnical Engineer to design and supervise excavation, shoring, and underpinning of adjacent structures, where required. Where the Geotechnical Engineer is retained by the Contractor, all costs are to be included in this Contract.

5. Follow all recommendations given in the geotechnical report for preloading, backfill, drainage, sub-base preparation, and other requirements.

6. Contractor is responsible for all temporary drainage during excavation.

8. Where footing elevations vary, follow requirements of typical details shown on Drawings. Contractor shall establish footing elevations based on all requirements, including frost protection, maximum slopes, and electrical, mechanical, and architectural information.

9. Footing elevations, if shown, are for bidding purposes only. They are not final and may vary according to site conditions. All footings must be taken to a bearing layer approved by the special inspector.

10. Contractor is solely responsible to ensure the special inspector reviews and confirms bearing pressure and approves subgrade installation prior to casting concrete for footings.

11. Center all footings on columns and walls unless noted otherwise.

12. Bearing surfaces must be protected from freezing before and after footing concrete is cast.

13. Perform concrete material tests per "Special Inspections and Tests" section of these General Notes.

14. Do not backfill retaining walls until full concrete design strength is reached unless otherwise approved by the Consultant. Confirm with Consultant prior to concrete placement if floor/roof restraint is required prior to backfilling.

15. The "Special Inspections and Tests," "Cast-In-Place Concrete," and "Concrete Reinforcement" sections of these General Notes also apply to this Work.

CAST-IN-PLACE CONCRETE

1. Perform all Work in accordance with ACI 301 and Specification Sections 03 1000.0320 00, and 03 3000.

2. Mix Designs:

- All cement shall conform to ASTM C150. Provide Type I u.n.o. Provide Type V for concrete in contact with sulfate soils. Other types require written approval of the Consultant.
- No calcium chloride is permitted in any form in the concrete mixes.
- Concrete for various purposes shall be as follows:

ELEMENTS	MIN. 28 DAY STRENGTH (psi)	EXPOSURE CLASSIFICATION	SUPPLEMENTARY CEMENTING MATERIALS (%)
Foundations and Footings	4500 NW	-	30
Walls	5000 NW	F2	30
Slabs on Grade			
Exterior	5000 NW	C2	30
Interior	4000 NW	-	30
Topping Concrete	4000 LW	-	30

- Select maximum aggregate size as required to accommodate rebar congestion and allow for proper finishing (for example at topping slabs). Include maximum aggregate size in mix design submittal.
- Supplementary cementing materials (SCM), where noted, is the mass of SCM as a percentage of the total mass of cementing materials. All SCM shall comply with CSA A3001.
- Where masonry grout strength is determined by cylinder tests, cylinder strength must meet or exceed 70% of the strength listed.
- Submit mix designs for each concrete mixture to the Consultant for review and approval a minimum of 14 days prior to concrete placement. Identify elements for which each mix design is intended.

3. Contractor is solely responsible for design of concrete formwork, shoring, and bracing.

4. Install expansion and/or construction sequence joints in concrete structures greater than 150 feet in length. Details and locations shall be discussed with and approved by the Consultant in writing prior to construction.

5. See Architectural drawings for slab elevations, slab edge locations, drainage, slopes, and locations of reglets, reveals, and chamfers. Unless noted otherwise, bevel exposed corners of slabs, beams, slab bands, columns, and walls 3/4" x 3/4".

6. Coordinate with Work of other Sections in forming and placing openings, keyways, slots, reglets, recesses, waterstops, bolts, anchors, and other inserts.

7. Blockouts, nailers, conduits, ducts, pipes, sleeves, and other openings are subject to approval by the Consultant.

a) Openings and conduits are not permitted in shear wall zones or within 36" of wall ends, wall intersections, and columns.

b) Where permitted, space openings two diameters apart, but not less than 6".

c) Single openings larger than 12" or a group of openings occupying together more than 1.0 sf in any 10 sf are not permitted without approval of the Consultant.

8. Carry out all hot weather concrete Work in accordance with ACI 305. Carry out all cold weather concrete Work in accordance with ACI 306.

9. Take measures to minimize shrinkage cracking, including covering and dampening concrete during the curing stage.

10. Take all precautions to ensure exposed concrete achieves finish desired by the Architect, including proper forming, mix design, site care, and adequate vibration. Protect against damage during stripping and entire construction period.

11. Do not strip forms for structural elements until concrete strength has reached 50% of the design compressive strength for columns and walls, 70% of the design compressive strength for slabs and beams, and 75% of the design compressive strength for slabs and beams in parking structures. Strength of concrete shall be determined from field-cured cylinders. All shoring and reshoring must be approved by Contractor's shoring engineer.

12. Repair and patch defective areas when approved by Consultant and Architect. Remove and replace concrete that cannot be repaired and patched to Consultant's and Architect's approval.

13. Unless otherwise noted, provide 1/8" wide x T/4-deep contraction joints in two directions in slabs on grade. Center joints on column lines, and space at maximum 15'-0" o.c. (T = slab thickness.)

14. The "Special Inspections and Tests" section of these General Notes also apply to this Work.

CONCRETE REINFORCEMENT

1. Perform all Work in accordance with ACI 301, the CRSI Manual of Standard Practice, and Specification Section 03 20 00.

2. Deliver, store, and handle steel reinforcement, welded wire fabric, and accessories to prevent bending and damage.

3. Provide new billet steel conforming to the following standards:

- #3 and larger ASTM A615, Grade 60, deformed
- Weldable reinforcement ASTM A706, deformed
- Welded wire mesh (plain) ASTM A185
- Epoxy coated reinforcement ASTM A775
- Stud rails ASTM A108 and ASTM A1044 (Fy = 50 ksi, Fu = 65 ksi)

4. Provide weldable reinforcement in special moment frames, special structural walls, and all components of special structural walls including coupling beams and wall piers (see "General" section of these General Notes).

5. Weldable reinforcement (including deformed anchor bars) must be clearly identified on each plate.

6. Provide the following fillet weld sizes for welding of deformed bar anchors to embed plates:

- #3 1/4"
- #4 and #5 3/8"
- #6 1/2"

7. Provide minimum reinforcement as follows, unless noted otherwise:

- Slab reinforcement (or temperature reinforcement)
 - #3 @14" EACH WAY
 - #4 @18" EACH WAY
 - #4 @16" EACH WAY
 - #4 @14" EACH WAY
 - #4 @12" EACH WAY
 - #5 @18" EACH WAY
 - #5 @16" EACH WAY
- Concrete topping (ie: over steel deck)
 - 6x8 W1.4 / W1.4 welded wire mesh or synthetic fibers for plastic shrinkage crack control at manufacturers recommended dosage

- Column integrity reinforcement at suspended slabs:
 - #6 bottom extra each way, extend minimum 2'-6" past face of column. See typical detail.
- Unless noted otherwise, openings in walls and slabs shall have 2 - #5 extra each side extending 2'-0" past corners, plus 2 - #5 x 4'-0" diagonal each corner.
- Footing reinforcement:
 - 2 - #5 continuous plus hooked dowels of same size and spacing as wall vertical reinforcement.
 - Other locations not identified above: #5 @16".

8. Provide concrete protection for reinforcement as follows, unless noted otherwise:

	Fire Resistance Rating	
	0-2 hrs.	3 hrs.
a) All surfaces placed in contact with ground	3"	3"
b) Formed surfaces exposed to ground or weather	2"	2"
c) Walls	1 1/4"	1 1/4"
d) Column ties - interior	1 1/2"	1 1/2"
e) Column ties - exterior	1 1/2"	2"
f) Slabs	3/4"	2"
g) Slab bands and Beams	1 1/2"	2"
h) Parking slab <ul style="list-style-type: none"> - top 1 1/2" - bottom 1" 	1 1/2"	1 1/2"
i) Slab on grade (from top of slab)	1 1/2"	1 1/2"
j) Other, unless otherwise noted	1 1/2"	1 1/2"

9. Clear distance between bars, except for columns, shall not be less than the nominal diameter of the bar, or 1", or 1.33 times the maximum size of the coarse aggregate. Bars placed in two or more layers shall have a minimum clear distance between the layers of not less than 1" and shall be placed directly above and below each other.

10. Clear distance between bars in columns shall not be less than 1.5 times the nominal diameter of the bars, or 1 1/2", or 1.33 times the maximum size of the coarse aggregate.

11. Accurately place all reinforcement. Chair and tie reinforcement to prevent displacement and to maintain specified cover. Do not tack weld crossing reinforcing bars. Install column reinforcement accurately with templates. Protect chairs against rusting where required for appearance.

12. Provide ACI standard hooked dowels from bottom of footings to match and lap with verticals. Install masonry dowels accurately to align with center of walls. Do not wet dowel reinforcement unless approved by the Consultant.

13. Distributed reinforcement in concrete shear walls shall conform to the following:

- All horizontal reinforcement shall be inside the zone verticals and extend to the end of the wall. Where there are two curtains of reinforcements shown, the vertical bars shall be on the outside of the horizontal bars.
- Vertical splices shall typically occur at roof levels. Other splices of horizontal and vertical reinforcement are not allowed except where necessary. These splices must be staggered within each curtain and must be reviewed and approved by the Consultant before construction.

14. Zone reinforcement in concrete shear walls shall conform to the following:

- Zone dowels must match size and number of vertical bars in zone, unless noted otherwise.
- Do not crank zone bars. At splices the zones shall be offset from the bars below and all bars at the splice shall be contained within ties.
- Unless noted otherwise, where zone change size at the splice because of wall steps, provide dowels for a tension splice above and below.

15. Do not field bend reinforcement except where indicated or authorized by the Consultant. When field bending is authorized, bend without heat. Replace bars which develop cracks or splits.

16. Provide continuous bars, properly lapped at splices. Bend and lap horizontal reinforcement at all corners and intersections. Lap splices not shown on the Drawings are not permitted unless approved in writing by the Consultant.

17. Unless noted otherwise, lap lengths, including dowels, for 60 ksi reinforcement shall be as follows:

#3 - 24"	#8 - 72"
#4 - 30"	#9 - 82"
#5 - 38"	#10 - 92"
#6 - 44"	#11 - 102"
#7 - 64"	

Top bars shall have splice lengths 130% of the values above (Top bars are defined as horizontal reinforcement cast with 12" or more concrete below the bar). Epoxy-coated bars shall have splice lengths 130% of the values above. Bars in lightweight concrete shall have splice lengths 133% of the values above. Increases are cumulative. For example, top bars in lightweight concrete shall have splice lengths 173% of the values above.

18. Reinforcement not indicated on the structural drawings needed for support of mechanical or electrical items (e.g. radiant piping, conduit, etc.) is the responsibility of the contractor. Assume a minimum of #4 bars spaced at 14" in one direction for areas without structural top reinforcement.

19. The "Special Inspection and Tests" section of these General Notes also apply to this work.

POST-INSTALLED ANCHORS

1. Except where indicated on the Drawings, use the following post-installed anchor types:

- Anchorage to Concrete:
 - Adhesive Anchors:
 - Hilti HIT-RE 500 V3 safeset epoxy adhesive anchoring system for slow cure applications.
 - Hilti HIT-HY 200 safeset adhesive anchoring system for fast cure applications.
 - Steel anchor element shall be Hilti HIS-N internally threaded inserts (used with RE 500), Hilti HIT Z rod, Hilti HAS-E continuously threaded rod, or continuously deformed steel rebar.
 - Medium Duty Mechanical Anchors: Hilti Kwik HUS EZ and Kwik HUS EZ-I screw anchors or Hilti Kwik Bolt TZ expansion anchors.
 - Heavy Duty Mechanical Anchors: Hilti HDA undercut anchors or Hilti HSL-3 expansion anchors.
- Anchorage to Solid Grouted Masonry:
 - Adhesive Anchors: Hilti HIT-HY 70 masonry adhesive anchoring system. Steel anchor element shall be Hilti HAS-E continuously threaded rod or continuously deformed steel rebar.
- Mechanical Anchors: Hilti Kwik Bolt 3 expansion anchors.
- Anchorage to Hollow or Multi-Wythe Masonry: Hilti HIT-HY 70 masonry adhesive anchoring system. Steel anchor element shall be Hilti HAS-E continuously threaded rod or continuously deformed steel rebar. Use the appropriate size screen tube per adhesive manufacturer's recommendations.

2. Anchor capacity used in design shall be based on the technical data published by Hilti or such other method as approved by the Consultant. Substitution requests for alternate products must be approved in writing by the Consultant prior to use. Contractor shall provide calculations demonstrating that the substituted product is capable of achieving the performance values of the specified product.

3. Install anchors per manufacturer's written instructions. Provide embedment, spacing, and edge distances indicated on the Drawings.

4. Overhead adhesive anchors must be installed using the Hilti Profis system.

5. Contractor shall arrange an anchor manufacturer's representative to provide onsite installation training for all of their anchoring products specified. All of Contractor's personnel who install anchors must be trained prior to the commencement of installing anchors.

6. Existing reinforcing bars in the concrete structure may conflict with specific anchor locations. Unless noted on the Drawings that the bars can be cut, Contractor shall review the existing structural Drawings and shall locate the position of reinforcing bars at the locations of the concrete anchors by Hilti Ferroscan, Hilti PS 1000, GPR, X-ray, chipping, or other means.

7. The "Special Inspections and Tests" section of these General Notes also apply to this Work.

STRUCTURAL STEEL FRAMING

1. Perform all Work in accordance with AISC 360 and Specification Section 05 12 00.

2. Submit shop drawings showing fabrication and erection of all structural steel components to the Consultant for review prior to fabrication. Show all connections and details, material specifications, and finishes; include an erection layout for all members. Do not proceed with fabrication until shop drawings have been approved by the Consultant.

3. Fabricate structural steel members to the AISC Code of Standard Practice and AWS D1.1. All fabrication and welding exposed to view shall be appearance quality to the Architect's satisfaction.

4. Protect steel members from corrosion, deformation, and other damage during storage and handling.

5. Provide steel conforming to the following standards, unless noted otherwise:

- Rolled shapes (W-sections) ASTM A992, Fy=50 ksi
- Rolled shapes (other) ASTM A36, Fy=36 ksi
- CSS ASTM A1085, Fy=50 ksi
- Plates and flat bars ASTM A36, Fy=36 ksi
- Pipe ASTM A53, Grade B, Fy=35 ksi
- Bolts ASTM F3125, Grade A325
- Anchor bolts ASTM F1554, Grade 36
- Deformed bar anchors ASTM A706, Fy=60 ksi
- Shear Stud Connectors ASTM A108, Grade 1015 or 1020, headed-stud type
- Stainless steel Type 304

6. Welding of reinforcement to embedded plates is permitted only with weldable deformed bar anchors. Headed stud anchors on embed plates shall also be fillet welded; fusion machine welds are not permitted. See the "Concrete Reinforcement" section of these General Notes for fillet weld sizes.

7. Provide one coat of shop primer to steel surfaces except the following, or unless noted otherwise:

- Surfaces embedded in concrete or mortar
- Surfaces to be field welded
- Surfaces of high-strength bolted, slip-critical connections
- Surfaces to receive sprayed fire-resistive materials (applied fireproofing)
- Galvanized surfaces

8. Hot dip galvanize all steel Work permanently exposed to the weather, including fasteners, unless noted otherwise. Hot dip galvanize all steel connectors and fasteners for wood members exposed to view in the completed structure, where exposure to rain during or after construction may cause rusting or staining of the wood. Galvanizing shall conform to ASTM A123 and A153.

9. Repair galvanized areas that are field welded or otherwise damaged during construction to comply with ASTM A870.

10. Control heat and pace of weld when welding may significantly warp the member or when welding steel adjacent to other materials (wood, concrete, etc.) to prevent cracking, spalling, or burning of adjacent material.

11. Grout fill all voids on underside of all base plates and bearing plates in contact with concrete or masonry. Provide non-shrink grout with a plastic consistency, capable of developing minimum compressive strength of 2500 psi in 48 hours and 7000 psi in 28 days. Follow manufacturer's instructions for mixing and placement.

12. At composite steel beams (beams with shear studs on top flange embedded in concrete slab or slab on metal deck), confirm temporary shoring requirements with Consultant prior to casting concrete.

13. If a structural steel member size specified on the structural Drawings is not available, the Contractor shall immediately notify the Consultant and allow for the next available size up. Contractor is responsible for the cost of any member upsizing due to availability of sizes or grades specified.

14. See architectural Drawings for miscellaneous steel components. Any steel components not shown on the structural Drawings are considered to be secondary components (See "Secondary Components and Their Attachments" section of these General Notes). Assume 1/4" thickness unless noted otherwise.

15. The "Special Inspections and Tests" section of these General Notes also apply to this Work.

DELEGATED STEEL CONNECTION DESIGN

1. Contractor is responsible for the design of all steel member connections unless complete connection design (including all plate sizes, weld and bolt formation) is given in the structural Drawings. Connections shall be designed by a Professional Engineer, retained by the steel fabricator and experienced in the design of this Work.

2. Shop drawings and calculations of components designed by the steel fabricator shall be signed and sealed by the Professional Engineer.

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ROUGH CARPENTRY AND SHEATHING

- Perform all Work in accordance with NDS and Specification Sections 06 10 00 and 06 16 00.
- Contractor is responsible for holding a start-up meeting with Fast + Epp prior to starting wood framing.
- Provide the following material grades, unless noted otherwise on the Drawings. All softwood lumber shall conform to PS 20, "American Softwood Lumber Standard" and have a maximum moisture content of 19% unless noted otherwise. All plywood shall conform to PS 1, "Structural Plywood" or PS 2, "Performance Standard for Wood-Based Structural-Use Panels." All OSB shall conform to PS 2.
 - Studs, joists, built-up posts and beams, and blocking: D Fir-L #2 or better
 - Top plates, bottom plates, and nailers: D Fir-L #2 or better
 - Strapping and nailing strips: Hem-Fir, construction grade
 - Solid wood posts and beams: D Fir-L #1 or better
 - Floor, roof, and wall sheathing: Exterior, Structural I
- Provide minimum 2x10 @16" joists unless noted otherwise. Install double joists under parallel non-load bearing partitions above.
- Provide minimum 2x2 bridging or solid blocking between joists at 6'-0" o.c. for all spans greater than 10'-0", with 1/2" gap between bridging. Fully block all joist spaces below point loads.
- Provide minimum two members for built-up beams and posts.
- Provide minimum lintel of 2-2x10 or 3-1/2"x9-1/2" LSL unless noted otherwise. Install double cripples under lintels.
- Provide minimum wall studs as follows, unless noted otherwise:
 - 1st floor 2x4 @12" o.c. or 2x6 @16" o.c.
 - 2nd floor 2x4 @16" o.c. or 2x6 @16" o.c.

- Structural Walls**
- 1st floor 2x4 @12" o.c. or 2x6 @16" o.c.
 - 2nd floor 2x4 @16" o.c. or 2x6 @16" o.c.
- Non-Structural Walls**
- 2x4 @16" o.c. for walls up to 12'-0",
 - 2x6 @16" o.c. for other walls

- Laminate studs solid beneath all beam ends and carry through to concrete foundation below. Provide built-up studs to match number of laminations in built-up member being supported. Take care to ensure beams bear fully on supporting members.
- Provide minimum sheathing as follows. Place sheets with face grain running perpendicular to supporting members in a staggered joint pattern unless noted otherwise.

- Wall sheathing: 1/2" plywood, minimum span rating 24/16, fastened with 0.131"Ø x 2 1/2" long nails @4" o.c. at sheet edges and @12" o.c. at intermediate studs. Block all unsupported edges with 2" nominal blocking and nailed as above. Drill adequate holes in exterior walls for ventilation. See typical details for additional notes and requirements.
- Floor sheathing: 3/4", minimum span rating 40/20, T&G plywood, glued and fastened with 0.131"Ø x 2 1/2" long nails @4" o.c. at sheet edges and @10" o.c. at intermediate supports.
- Roof sheathing: 1/2" plywood, minimum span rating 32/16, fastened with 0.131"Ø x 2 1/2" long nails @4" o.c. at sheet edges and @10" o.c. at intermediate supports. Provide H-clips between each panel.

- Provide minimum wall anchorage as follows, unless noted otherwise:
 - Non-Structural Walls:
 - Fasten bottom wall plate to concrete with 5/8"Ø x 10" long anchor bolts @4'-0" o.c. maximum. Provide bolts with standard nut and washer at top, and double nuts and standard washer at bottom. Provide bolts maximum 8" from ends and corners of walls and door openings. Where hold down is indicated on the Drawings, increase edge distance to 12".
 - Structural Walls:
 - Fasten bottom wall plate to concrete with 5/8"Ø x 10" long anchor bolts @3'-0" o.c. maximum. Provide bolts with 2-1/2" x 1/4" thick plate washers at top of bolts, and double nuts and standard washer at bottom. Provide bolts maximum 8" from ends and corners of walls and edges of window and door openings. Add hold down anchors where noted on plan; for walls above the foundation level, hold downs noted at the base of the wall are also required at the top of the wall below. See typical details for additional notes and requirements.
 - Lap top wall plates 4'-0" and connect with 12-3" long nails minimum unless noted otherwise.

- Provide silk gasket under all wood sill plates in contact with concrete. Provide moisture barrier at all other wood surfaces in contact with concrete or masonry. Do not use pressure-treated lumber unless noted on plan.

- All wood framing and sheathing shall be reviewed by the Consultant or the Consultant's agent prior to concealment.
- The "Special Inspections" and "Tests" and "Timber Fasteners and Connectors" sections of these General Notes also apply to this work.

STRUCTURAL COMPOSITE LUMBER

- Perform all Work in accordance with NDS and Specification Section 06 17 29.
- Where connection forces are shown on the Drawings, connections shall be designed by a Professional Engineer, retained by the timber fabricator and experienced in the design of this Work. Drawings and calculations of components designed by the timber fabricator shall be signed and sealed by the Professional Engineer.
- Submit shop drawings showing fabrication and erection of all composite lumber components to the Consultant for review prior to fabrication. Show all connections and details, material specifications, and finishes; include an erection layout for all members. Do not proceed with fabrication until shop drawings have been approved by the Consultant.
- Individually wrap members using plastic-coated paper covering with water-resistant seams. Sit underside to prevent accumulation of moisture inside the wrapping. Store members off the ground with spacer blocks so air may circulate around all faces of members.
- Composite lumber manufacturer shall be under the supervision of an approved third-party inspection agency.
- All composite lumber members shall meet or exceed the structural properties of the products listed below. Any substitution must have the written approval of the Consultant.
 - Laminated Strand Lumber (LSL) 1.55E TimberStrand® LSL by TrusJoist® Weyerhaeuser
 - Laminated Veneer Lumber (LVL) 2.0E Microllam® LVL by TrusJoist® Weyerhaeuser
 - Parallel Strand Lumber (PSL) Beams: 2.2E Parallam® PSL by TrusJoist® Weyerhaeuser
Columns: 1.8E Parallam® PSL by TrusJoist® Weyerhaeuser
- Manufacturer is responsible for the design and supply of all accessories and metal connection hardware required to support members.
- Mark members for identification during erection. Stamp each member indicating grade, manufacturer's name, plant number, third-party certification, and code evaluation agencies. Ensure marks will be concealed in final assembly for members exposed to view. Clearly mark top surface.
- Site cutting or boring of members, other than shown on shop drawings, is not permitted without written consent of the Consultant.
- See architectural Drawings for finish requirements. All exposed PSL shall be architectural quality finished unless noted otherwise.
- The "Special Inspections and Tests" and "Timber Fasteners and Connectors" sections of these General Notes also apply to this Work.

WOOD I-JOISTS

- Perform all Work in accordance with NDS and Specification Section 06 17 33.
- Wood Hoists shall be designed by a Professional Engineer, retained by the timber fabricator and experienced in the design of this Work.
 - Design for loads shown on the structural Drawings.
 - Limit joist deflections under live load to span/260. At roof joists over areas which do not have suspended ceilings, limit joist deflection under live load to span/240.
 - Provide a minimum floor performance score of 45 according to Weyerhaeuser's Level® Trus Joist® T-J-Pro™ Ratings, or equivalent alternative rating system.
 - Space members not to exceed 16".
 - Drawings and calculations shall be signed and sealed by the Professional Engineer.
- Submit shop drawings showing fabrication and erection of all joists to the Consultant for review prior to fabrication. Show all connections and details, design loads, and material specifications; include an erection layout for all joists. Do not proceed with fabrication until shop drawings have been approved by the Consultant.
- Store, handle, and erect joists in accordance with manufacturer's written instructions.
- Manufacture joists with solid plywood or OSB webs and structural wood chords. Joist manufacturer shall be under the supervision of an approved third-party inspection agency.
- Manufacturer is responsible for the design and supply of all bridging, blocking, accessories, and metal connection hardware required for the stability of the joist assembly.
- Coordinate bridging locations with all other architectural and mechanical requirements.
- Stamp each joist indicating nominal joist depth, joist class, span ratings, manufacturer's name, plant number, third-party certification, and code evaluation agencies.
- Make adequate provision for possible erection stresses. Set joists level to correct positions. Securely brace joists and anchor in place until permanently secured by finished structure.
- Follow manufacturer's guidelines for web openings. Do not drill or cut chords.
- The "Special Inspections and Tests" and "Timber Fasteners and Connectors" sections of these General Notes also apply to this Work.

SECONDARY COMPONENTS AND THEIR ATTACHMENTS

- Refer to all Contract Documents for secondary components. Secondary components are elements that are structurally significant for the functions they serve but do not contribute to the overall strength or stability of the primary structural system. Examples include, but are not limited to, the following:
 - Site work elements exterior to the base building such as landscaping components, retaining walls, lamp standards, bollards, fences, pools, signs, and civil work.
 - Architectural components such as guard and hand rails, flag posts, canopies, ceilings, etc.
 - Cladding, window mullions, glazing, and store fronts.
 - Architectural cladding and attachments, including precast concrete, stone, and brick veneer.
 - Skylights and glass canopies.
 - Glass block and attachments.
 - Interior and exterior light gauge steel stud walls.
 - Raised floor systems.
 - Elevators, hoist beams, and rail support members.
 - Window washing equipment, including attachments.
 - Fall restraint anchors, including any additional required framing not shown on plans.
 - Attachments and bracing for mechanical and electrical components.
 - Library stacks.
 - Roofing material.
 - Parking slab membrane.
- Design and detailing of the above items and their attachments are not the responsibility of the Consultant. They shall be designed by specialty Professional Engineers, retained by the Contractor and experienced in the design of this Work.
 - Design secondary components in accordance with the building code and design criteria listed in the "General" section of these General Notes.
 - Drawings and calculations of components designed by the specialty Professional Engineer shall be signed and sealed by the Professional Engineer.
 - Submit sealed shop drawings of secondary or non-structural components which may affect the primary structural system to the Consultant for review. Shop drawings should clearly indicate the method and means of attachment and the magnitude of forces that the base structure must withstand. The Consultant's review shall be only for the components' effect on the primary structural system and may result in the need to modify the method of attachment.
- Protection of connections of dissimilar metals against galvanic corrosion is the responsibility of the specialty Professional Engineer.
- Elevator requirements:
 - Refer to elevator shop drawings for shaft dimensions, pit depth, location of divider beams and rail support members, and rough opening sizes for doors. Contractor is responsible for confirming all dimensions prior to commencing Work.
 - Elevator manufacturer shall provide Consultant with all loads and deflection criteria necessary to size supporting structure, including rail supports, divider beams, hoist beams, pit slabs, and machine room slabs.

- Detail all secondary components for construction tolerances plus the following building movements and deflections:

- Vertical movements:
 - Vertical deflections of beams, slabs, and decking: L/180 (1" min.)
 - Differential deflections of beams and slabs at adjacent floors at building perimeter: L/240 (5/8" min.)

- Horizontal movements:
 - Story drift due to wind (Design components to withstand this movement without damage): H/400
 - Story drift due to earthquake (Design components to withstand this movement without collapse): H/40

ABBREVIATIONS			
A.BOLTS	- ANCHOR BOLTS	LLH	- LONG LEG HORIZONTAL
ADDL.	- ADDITIONAL	LLV	- LONG LEG VERTICAL
ALT.	- ALTERNATE	L.L.	- LIVE LOAD
ARCH.	- ARCHITECT / ARCHITECTURAL	LONGIT.	- LONGITUDINAL
B.L.L.	- BOTTOM LOWER LAYER	LSL	- LAMINATED STRAND LUMBER
B.U.L.	- BOTTOM UPPER LAYER	LVL	- LAMINATED VENEER LUMBER
BCE	- BOTTOM CHORD EXTENSION	L.V.	- LENGTH VARIES
BOT.	- BOTTOM	MF	- FACTORED MOMENT
BU	- BUILT UP	MAX.	- MAXIMUM
CF	- FACTORED COMPRESSION FORCE	MECH.	- MECHANICAL
CANT.	- CANTILEVERED	MIN.	- MINIMUM
CG.	- CENTER OF GRAVITY	N STUDS	- NELSON STUDS
CL	- CENTERLINE	NTS	- NOT TO SCALE
CLR.	- CLEAR / CLEARANCE	O.C.	- ON CENTER
COL.	- COLUMN	O.F.	- OUTSIDE FACE
CONC.	- CONCRETE	OPP.	- OPPOSITE
CONN.	- CONNECTION	P.C.	- PRECAST CONCRETE
CONT.	- CONTINUOUS	PL	- PLATE
C'SINK	- COUNTERSINK	PLY.	- PLYWOOD
C.I.P.	- CAST IN PLACE	PSC	- PARTIALLY THREADED SCREWS WITH COUNTERSUNK HEADS
CNV	- COMPLETE WITH	PSH	- PARTIALLY THREADED SCREWS WITH HEX HEADS
CJ	- CONTROL JOINT	PSL	- PARALLEL STRAND LUMBER
CLT	- CROSS LAMINATED TIMBER	PSW	- THREADED SCREWS WITH WASHER HEADS
D.L.	- DEAD LOAD	P/T	- POST-TENSION
DIAG.	- DIAGONAL	REINF.	- REINFORCEMENT
DWG(S).	- DRAWING(S)	RW	- REINFORCED WITH SUPERIMPOSED DEAD LOAD
EL.	- ELEVATION	S.D.L.	- SLAB ON GRADE
ELEC.	- ELECTRICAL	S.S.	- STAINLESS STEEL
E.F.	- EACH FACE	STAG.	- STAGGERED
E.S.	- EACH SIDE	STD.	- STANDARD
E.W.	- EACH WAY	STIFF	- STIFFENER
EXIST.	- EXISTING	STIRR.	- STIRRUP
FDN.	- FOUNDATION	TI	- FACTORED TENSILE FORCE
FSC	- FULLY THREADED SCREWS WITH COUNTERSUNK HEADS	THK.	- THICK
FSZ	- FULLY THREADED SCREWS WITH CYLINDRICAL HEADS	TJ	- TRUSS JOIST
FTG.	- FOOTING	T.L.L.	- TOP LOWER LAYER
GA.	- GAUGE	TRANSV.	- TRANSVERSE
GALV.	- GALVANIZED	T.U.L.	- TOP UPPER LAYER
GIL	- GRID LINE	T & B	- TOP & BOTTOM
GL	- GLULAM	TYP.	- TYPICAL
HIE	- HOOK ONE END	U.D.L.	- UNIFORMLY DISTRIBUTED LOAD
H2E	- HOOK TWO ENDS	U.N.O.	- UNLESS NOTED OTHERWISE
HD	- HOLD DOWN	U/S	- UNDERSIDE
H.D. GALV.	- HOT DIPPED GALVANIZED	VF	- FACTORED SHEAR FORCE
HDR	- HEADER	VERT.	- VERTICAL
HORIZ.	- HORIZONTAL	WD.	- WIDE
I.F.	- INSIDE FACE	WP.	- WORK POINT
LG.	- LONG		

PROJECT ZERO & BUILDING ELEVATIONS	TRUE ELEVATION	ELEVATION TO PROJECT ZERO
PROJECT ZERO:	+000.00	+0.00
AVERAGE BUILDING ELEVATION	+000.00	-0.00
GROUND LEVEL:	+000.00	+0.00
MAXIMUM BUILDING HEIGHT (ROOF HEIGHT EXCEPTIONS):	+000.00	+00.00
ACTUAL BUILDING HEIGHT:	+000.00	+00.00

NOTE: ALL DIMENSION TO PROJECT ZERO, UCN.

GENERAL NOTES

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Project Name

YAROSLAVSKY

9319 SE 43RD ST
MERCER ISLAND, WA 98040

True North

Project North



Revision History

Sheet Size: 2021-03-08
24" x 36"

Drawing Title:

GENERAL NOTES

Drawing Status:

BUILDING PERMIT

Issue Date:

12/30/20

Issue:

BUILDING PERMIT

Revision:

01

SHEET NAME

S002

FOOTING SCHEDULE		
MARK	SIZE	REINFORCEMENT
F1	1'-6" x 10" DP. STRIP FTG.	2-#5 LONG. BARS & #4 @ 12" O.C. TRANSV.
F2	3'-0" x 14" DP. STRIP FTG.	6-#7 LONG. BARS & #5 @ 12" O.C. TRANSV.
F3	5'-0" x 5'-0" x 14" DP. PAD FTG.	5-#6 BOT. BARS E.W.
F4	3'-6" x 14" DP. STRIP FTG.	4-#5 LONG. BARS & #5 @ 12" O.C. TRANSV.
F5	3'-0" x 3'-0" x 14" DP. PAD FTG.	4-#5 BOT. BARS E.W.

COLUMN SCHEDULE	
MARK	DIMENSIONS
C1	HSS 6 x 0.250
C2	W14 x 82
C3	3 1/2" x 7" 1.8E PSL
C4	HSS 3 1/2 x 3 1/2 x 3/8
C5	3 1/2" x 5 1/4" 1.8E PSL
C6	5 1/4" x 5 1/4" 1.8E PSL
C7	5 1/4" x 7" 1.8E PSL

NOTE: ALL EXTERIOR STEEL TO BE H.D. GALV. OR PROTECTED BY APPROVED COATING.

PROJECT ZERO & BUILDING ELEVATIONS	TRUE ELEVATION	ELEVATION TO PROJECT ZERO
PROJECT ZERO:	+000.00	+0.00
AVERAGE BUILDING ELEVATION	+000.00	-0.00
GROUND LEVEL:	+000.00	+0.00
MAXIMUM BUILDING HEIGHT:	+000.00	+000.00
MAXIMUM BUILDING HEIGHT (ROOF HEIGHT EXCEPTIONS):	+000.00	+00.00
ACTUAL BUILDING HEIGHT:	+000.00	+00.00

NOTE: ALL DIMENSION TO PROJECT ZERO, UOIN.

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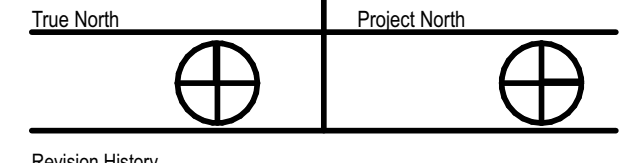
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Project Name
YAROSLAVSKY
 9319 SE 43RD ST
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Sheet Size: 2021-03-08
 34" x 36"

Drawing Title:
FOUNDATION PLAN

Drawing Status:
BUILDING PERMIT

Issue Date:
 12/30/20

Issue:
BUILDING PERMIT

Revision:
 01

SHEET NAME
S200



WOOD SHEAR WALL SCHEDULE						
MARK	SHEATHING	NAIL TYPE	NAIL SPACING @ PANEL EDGES ^{1,2}	MIN. RIMBOARD/ BLOCKING ³	WALL BOTTOM PLATE TO RIMBOARD ^{1,3}	RIMBOARD TO WALL TOP PLATE ³
[SW1]	1/2" D. FIR PLYWOOD 1 SIDE	2 1/2" LG x 0.131"Ø	3" O.C.	1 3/4" LSL	3" LG x 0.131"Ø @ 3" O.C. STAGGERED ⁴	A35 CLIPS @ 12" O.C.
[SW2]	1/2" D. FIR PLYWOOD 2 SIDES	2 1/2" LG x 0.131"Ø	2" O.C.	2 PLY 1 3/4" LSL	(3) LG x 0.131"Ø @ 3" O.C. STAGGERED ⁴	A35 CLIPS @ 10" O.C.
[SW3]	1/2" D. FIR PLYWOOD 1 SIDE	2 1/2" LG x 0.131"Ø	2" O.C.	1 3/4" LSL	3" LG x 0.131"Ø @ 2" O.C. STAGGERED ⁴	A35 CLIPS @ 10" O.C.

FOOTING SCHEDULE		
MARK	SIZE	REINFORCEMENT
F1	1'-6" x 10" DP. STRIP FTG.	2-#5 LONG. BARS & #4 @ 12" O.C. TRANSV.
F2	3'-0" x 14" DP. STRIP FTG.	6-#7 LONG. BARS & #5 @ 12" O.C. TRANSV.
F3	5'-0" x 5'-0" x 14" DP. PAD FTG.	5-#6 BOT. BARS E.W.
F4	3'-6" x 14" DP. STRIP FTG.	4-#5 LONG. BARS & #5 @ 12" O.C. TRANSV.
F5	3'-0" x 3'-0" x 14" DP. PAD FTG.	4-#5 BOT. BARS E.W.

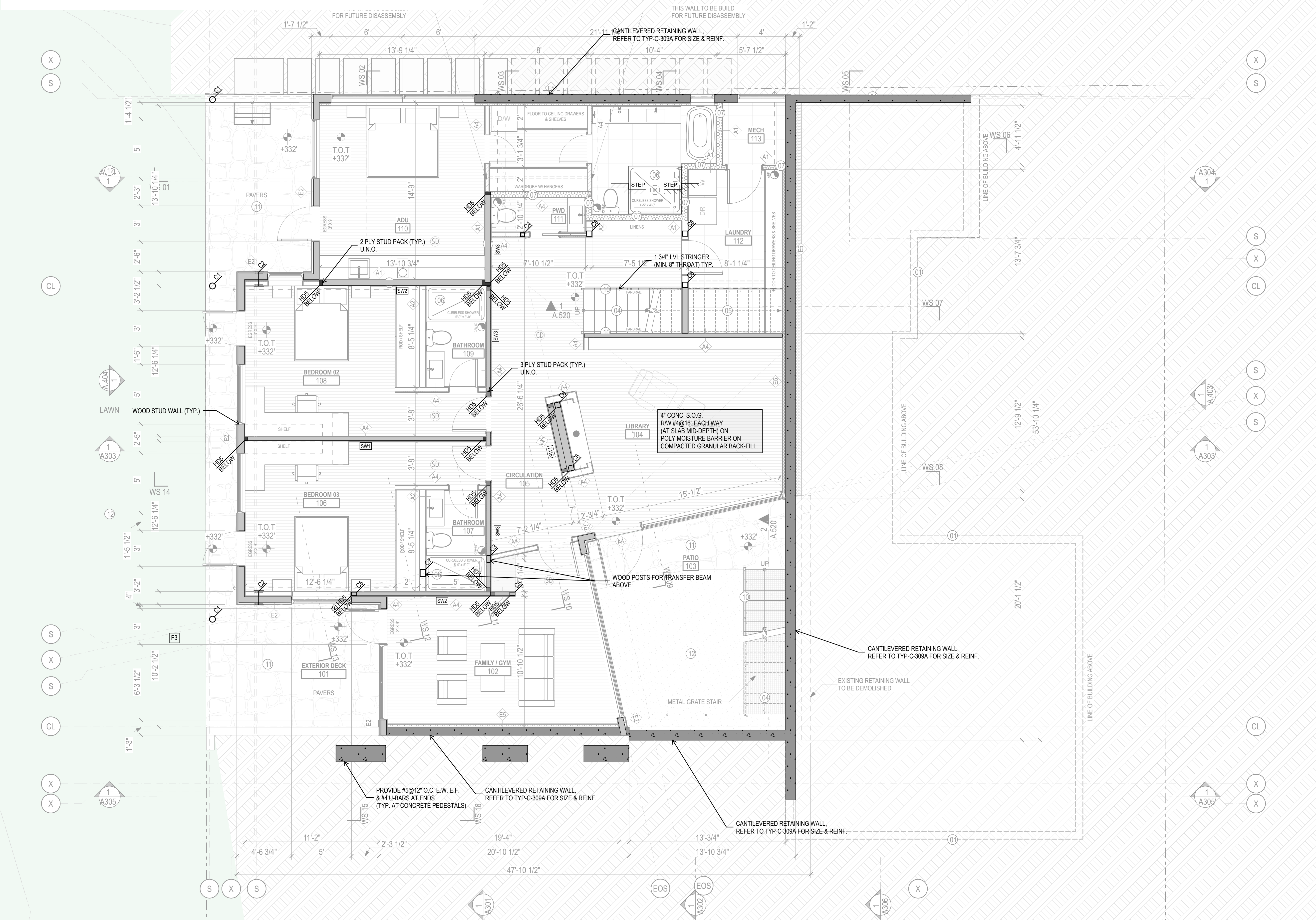
HOLD DOWN SCHEDULE				
MARK	SIMPSON HD	HOLD DOWN ANCHOR ⁽⁶⁾	MIN. WOOD THICKNESS ⁽⁷⁾	MIN. WOOD WIDTH
HD1	HDU2-SDS2.5	5/8"	3"	3.5"
HD2	CMST12	-	3.5"	3"
HD3	CMST12 (E.S.)	-	3.5"	3"
HD4	CMSTC16	-	3.5"	3"
HD5	HDU8-SDS2.5	7/8"	3"	3.5"
HD6	CMSTC14	-	3.5"	3"

1. ASSUME #5 VERTS @ 16" O.C. MIN.
2. ENSURE HOLD DOWN IS LAPPED WITH VERTICAL BAR PER LAP LENGTH IN GENERAL NOTES.
3. SEE BUILD-UP COLUMN TYPICAL DETAILS FOR NAILING.

COLUMN SCHEDULE	
MARK	DIMENSIONS
C1	HSS 6 x 0.250
C2	W14 x 82
C3	3 1/2" x 7" 1.8E PSL
C4	HSS 3 1/2 x 3 1/2 x 3/8
C5	3 1/2" x 5 1/4" 1.8E PSL
C6	5 1/4" x 5 1/4" 1.8E PSL
C7	5 1/4" x 7" 1.8E PSL

NOTE: ALL EXTERIOR STEEL TO BE H.D. GALV. OR PROTECTED BY APPROVED COATING.

BLOCK PANEL EDGES WITH 3x4 LAD FLAT AND NAIL PANELS TO INTERMEDIATE SUPPORTS WITH #6 @ 12" O.C.
 PANEL JOINTS EACH FACE OF WALL TO BE OFFSET TO FALL ON DIFFERENT MEMBERS.
 #6 NAILS SHALL BE 0.131"Ø x 2-1/2" and 12d NAILS SHALL BE 0.131"Ø x 3".
 IF LUMBER JOISTS ARE USED, THEN D. FIR RIMBOARD/BLOCKING MAY BE USED.
 TWO ROWS TO BE STAGGERED AND OFFSET BY 3/4".
 LTPA PLATES INSTALLED HORIZONTALLY MAY BE USED IN LIEU OF A35 CLIPS WITH APPROVAL FROM THE ENGINEER.
 EMBED ANCHOR BOLTS 7" MINIMUM INTO CONCRETE. ALL BOLTS SHALL HAVE 2-1/2"Ø x 1/4" THICK PLATE WASHERS AT THE TOP OF BOLTS & STANDARD WASHER AND DOUBLE NUTS AT THE BOTTOM.
 #3 OR DOUBLE STUDS NAILED TOGETHER WITH 10d NAILING IS REQUIRED AT ABUTTING PANEL EDGES FOR NAIL SPACING 3" AND LESS. WHERE 3x STUDS ARE USED, STAGGER NAILING AT ADJOINING PANEL EDGES.
 FOR BUILT-UP COLUMNS AT HOLD DOWN LOCATIONS, SHEATHING SHALL BE NAILED TO EACH BUILT-UP COLUMN AS PER NOTE 1.
 *SUBSTITUTION OF NAIL SIZE MUST BE CONFIRMED WITH THE ENGINEER PRIOR TO USE.
 †PLYWOOD SHEARWALL SCHEDULE TO BE READ IN CONJUNCTION WITH TYPICAL DETAILS.



PROJECT ZERO & BUILDING ELEVATIONS		
PROJECT ZERO:	TRUE ELEVATION	ELEVATION TO PROJECT ZERO
AVERAGE BUILDING ELEVATION	+000.00	-0.00
GROUND LEVEL:	+000.00	+0.00
MAXIMUM BUILDING HEIGHT:	+000.00	+000.00
MAXIMUM BUILDING HEIGHT (ROOF HEIGHT EXCEPTIONS):	+000.00	+00.00
ACTUAL BUILDING HEIGHT:	+000.00	+00.00

NOTE: ALL DIMENSION TO PROJECT ZERO, UON.

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Project Name
YAROSLAVSKY
 9319 SE 43RD ST
 MERCER ISLAND, WA 98040

True North **Project North**



Sheet Size: 2021-03-08
 34" x 36"

Drawing Title:
LOWER LEVEL PLAN

Drawing Status:
BUILDING PERMIT

Issue Date:
 12/30/20

Issue:
BUILDING PERMIT

Revision:
 01

SHEET NAME

WOOD SHEAR WALL SCHEDULE						
MARK	SHEATHING	NAIL TYPE	NAIL SPACING @ PANEL EDGES ^{1,2}	MIN. RIMBORD/ BLOCKING ³	WALL BOTTOM PLATE TO RIMBORD ^{1,3}	RIMBOARD TO WALL TOP PLATE ³
[SW1]	1/2" D. FIR PLYWOOD 1 SIDE	2 1/2" LG x 0.131"Ø	3" O.C.	1 3/4" LSL	3" LG x 0.131"Ø @ 3" O.C. STAGGERED ¹	A35 CLIPS @ 12" O.C.
[SW2]	1/2" D. FIR PLYWOOD 2 SIDES	2 1/2" LG x 0.131"Ø	2" O.C.	2 PLY 1 3/4" LSL	(3) ROWS 3" LG x 0.131"Ø @ 3" O.C.	A35 CLIPS @ 10" O.C. E.S.
[SW3]	1/2" D. FIR PLYWOOD 1 SIDE	2 1/2" LG x 0.131"Ø	2" O.C.	1 3/4" LSL	3" LG x 0.131"Ø @ 2" O.C. STAGGERED ¹	A35 CLIPS @ 10" O.C.

BLOCK PANEL EDGES WITH 3/4" LAID LAD AND NAIL PANELS TO INTERMEDIATE SUPPORTS WITH 8d @ 12" O.C.
 1. PANEL JOINTS EACH FACE OF WALL TO BE OFFSET TO FALL ON DIFFERENT MEMBERS.
 2. 8d NAILS SHALL BE 0.131"Ø x 2-1/2" AND 12d NAILS SHALL BE 0.131"Ø x 3".
 3. IF LUMBER JOISTS ARE USED, THEN D. FIR RIMBORD/BLOCKING MAY BE USED.
 4. TWO ROWS TO BE STAGGERED AND OFFSET BY 3/4".
 5. LTPA PLATES INSTALLED HORIZONTALLY MAY BE USED IN LIEU OF A35 CLIPS WITH APPROVAL FROM THE ENGINEER.
 6. EMBED ANCHOR BOLTS 7" MINIMUM INTO CONCRETE. ALL BOLTS SHALL HAVE 2-1/2"Ø x 1/4" THICK PLATE WASHERS AT THE TOP OF BOLTS & STANDARD WASHER AND DOUBLE NUTS AT THE BOTTOM.
 7. 3x OR DOUBLE STUDS NAILED TOGETHER WITH 10d NAILING IS REQUIRED AT ABUTTING PANEL EDGES FOR NAIL SPACING 3" AND LESS. WHERE 3x STUDS ARE USED, STAGGER NAILING AT ADJOINING PANEL EDGES.
 8. FOR BUILT-UP COLUMNS AT HOLD DOWN LOCATIONS, SHEATHING SHALL BE NAILED TO EACH BUILT-UP COLUMN AS PER NOTE 1.
 9. SUBSTITUTION OF NAIL SIZE MUST BE CONFIRMED WITH THE ENGINEER PRIOR TO USE.
 10. PLYWOOD SHEARWALL SCHEDULE TO BE READ IN CONJUNCTION WITH TYPICAL DETAILS.

HOLD DOWN SCHEDULE				
MARK	SIMPSON HD	HOLD DOWN ANCHOR ⁽¹⁾	MIN. WOOD THICKNESS ⁽²⁾	MIN. WOOD WIDTH
HD1	HDU2-SDS2.5	5/8"	3"	3.5"
HD2	CMST12	-	3.5"	3"
HD3	CMST12 (E.S.)	-	3.5"	3"
HD4	CMSTC16	-	3.5"	3"
HD5	HDU8-SDS2.5	7/8"	3"	3.5"
HD6	CMSTC14	-	3.5"	3"

1. ASSUME #8 VERTS @ 16" O.C. MIN.
 2. ENSURE HOLD DOWN IS LAPPED WITH VERTICAL BAR PER LAP LENGTH IN GENERAL NOTES.
 3. SEE BUILT-UP COLUMN TYPICAL DETAILS FOR NAILING.

COLUMN SCHEDULE	
MARK	DIMENSIONS
C1	HSS 6 x 0.250
C2	W14 x 82
C3	3 1/2" x 7" 1.8E PSL
C4	HSS 3 1/2 x 3 1/2 x 3/8
C5	3 1/2" x 5 1/4" 1.8E PSL
C6	5 1/4" x 5 1/4" 1.8E PSL
C7	5 1/4" x 7" 1.8E PSL

NOTE: ALL EXTERIOR STEEL TO BE H.D. GALV. OR PROTECTED BY APPROVED COATING.

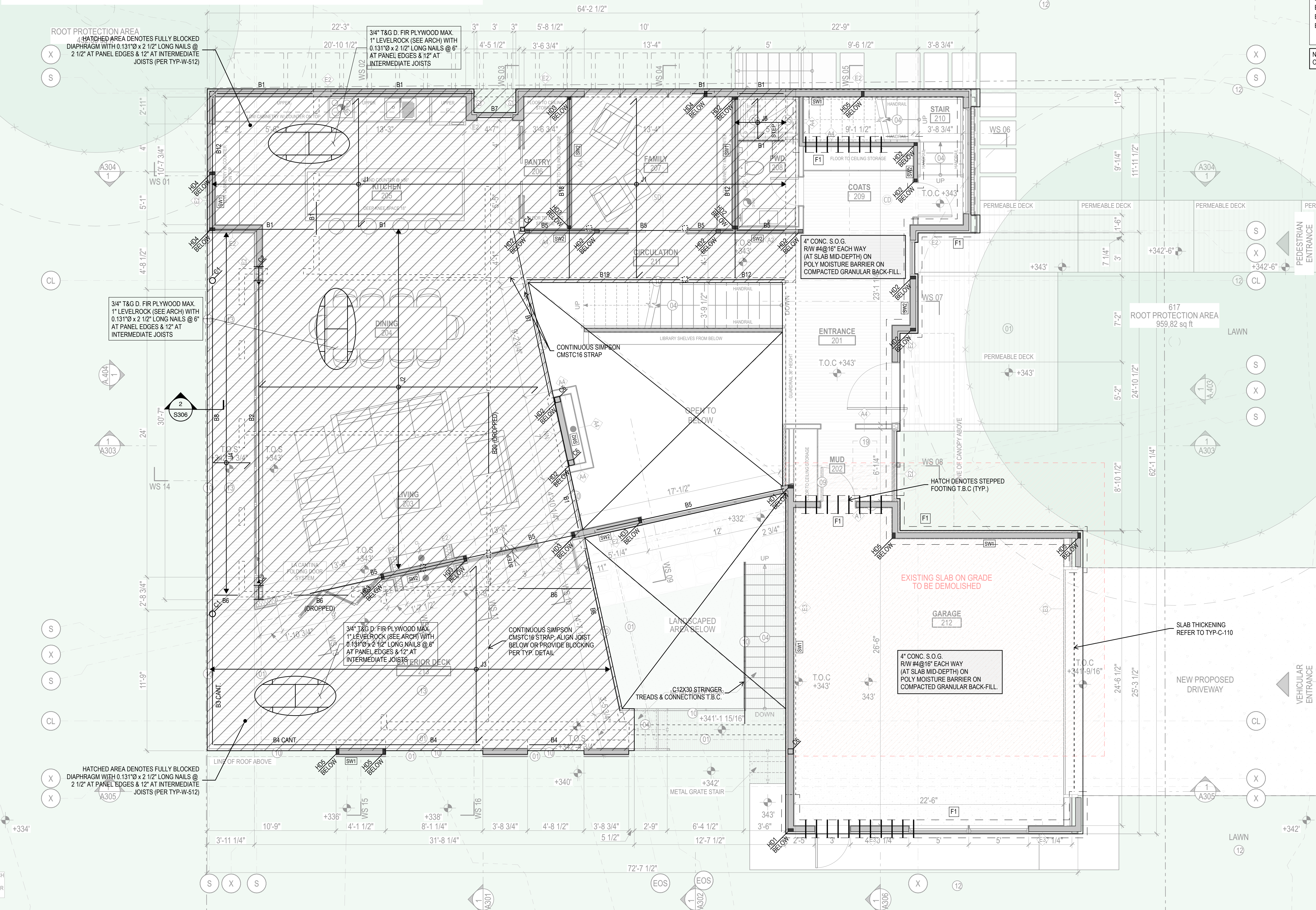
JOIST SCHEDULE		
MARK	DIMENSIONS	HANGER BY SST (UNO) (IF REQ'D)
J1	16" TJI JOIST 210 @ 16"	IUS2.06/16
J2	16" TJI JOIST 230 @ 16"	ONE SIDE CUSTOM SKEWED
J3	1 3/4" x 9.5" 2.0E LVL @ 16"	IUS1.81/9.5
J4	2x10 @ 16"	LUS28
J5	14" TJI JOIST 360 @ 12"	IUS2.37/14
J6	11 7/8" TJI JOIST 560 @ 12"	IUS3.56/11.88
J8	11 7/8" TJI JOIST 110 @ 16"	IUS1.81/11.88
J9	11 7/8" TJI JOIST 360 @ 16"	IUS2.37/11.88
J10	9 1/2" TJI JOIST 110 @ 16"	IUS1.81/9.5
J11	11 7/8" TJI JOIST 110 @ 24"	IUS1.81/11.88

BEAM SCHEDULE		
MARK	DIMENSIONS	CONNECTION DEMAND (ASD)
B1	5 1/4" x 16" 2.2E PSL	Vmax = 6000 lbs
B2	W14 x 82	SEE ELEVATION ON S400
B4	3 1/2" x 14" 2.2E PSL	Vmax = 3080 lbs
B5	5 1/4" x 16" 2.2E PSL	Vmax = 17325 lbs (TRANSFER)
B6	3 1/2" x 9 1/2" 2.2E PSL	Vmax = 3285 lbs
B7	2 PLY 2x10	Vmax = 2000 lbs
B8	W12 x 53	Vmax = 36 kips, Mmax = 86 kip-ft
B9	W12 x 87	Vmax = 35 kips
B10	W16 x 89	Vmax = 35 kips
B11	W16 x 67	Vmax = 40 kips
B12	5 1/4" x 14" 2.2E PSL	Vmax = 3679 lbs
B13	2 PLY 1 3/4" x 11 7/8" 2.0E LVL	Vmax = 3940 lbs
B14	7" x 11 7/8" 2.2E PSL	Vmax = 4280 lbs
B15	3 1/2" x 11 7/8" 2.2E PSL	Vmax = 2440 lbs
B16	W12 x 45	SEE ELEVATION ON S400
B17	2 PLY 2x12	Vmax = 2000 lbs
B18	3 1/2" x 14" 2.2E PSL	Vmax = 11541 lbs (TRANSFER)
B19	5 1/4" x 14" 2.2E PSL	Vmax = 8420 lbs (TRANSFER)
B20	3 1/2" x 14" 2.2E PSL	Vmax = 2750 lbs

NOTE: ALL EXTERIOR STEEL TO BE H.D. GALV. OR PROTECTED BY APPROVED COATING.

PROJECT ZERO & BUILDING ELEVATIONS		
	TRUE ELEVATION	ELEVATION TO PROJECT ZERO
PROJECT ZERO:	+000.00	+0.00
AVERAGE BUILDING ELEVATION:	+000.00	-0.00
GROUND LEVEL:	+000.00	+0.00
MAXIMUM BUILDING HEIGHT:	+000.00	+000.00
MAXIMUM BUILDING HEIGHT (ROOF HEIGHT EXCEPTIONS):	+000.00	+00.00
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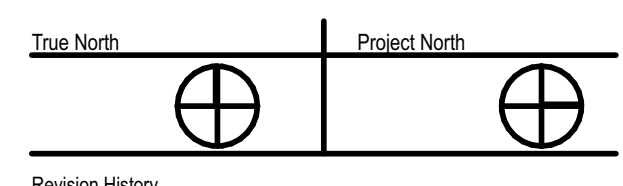
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Project Name
YAROSLAVSKY
 9319 SE 43RD ST
 MERCER ISLAND, WA 98040



Sheet Size: 2021-03-08
 34" x 36"

Drawing Title:
MAIN LEVEL PLAN

Drawing Status:
BUILDING PERMIT

Issue Date:
 12/30/20

Issue:
BUILDING PERMIT

Revision:
 01

WOOD SHEAR WALL SCHEDULE						
MARK	SHEATHING	NAIL TYPE	NAIL SPACING TO PANEL EDGES ¹	MIN. RIMBOARD/ BLOCKING ²	WALL BOTTOM PLATE TO RIMBOARD ³	MUDSILL TO CONCRETE ⁴
[SW1]	1/2" D. FIR PLYWOOD 1 SIDE	2 1/2" LG x 0.131"Ø	3" O.C.	1 3/4" LSL	3" LG x 0.131"Ø @ 3" O.C. STAGGERED ⁵	A35 CLIPS @ 12" O.C. 5/8"Ø A.B. @ 2'-6" O.C.
[SW2]	1/2" D. FIR PLYWOOD 2 SIDES	2 1/2" LG x 0.131"Ø	2" O.C.	2 PLY 1 3/4" LSL	(3) ROWS 3" LG x 0.131"Ø @ 3" O.C.	A35 CLIPS @ 10" O.C. 3/4"Ø A.B. @ 1'-4" O.C.
[SW3]	1/2" D. FIR PLYWOOD 1 SIDE	2 1/2" LG x 0.131"Ø	2" O.C.	1 3/4" LSL	3" LG x 0.131"Ø @ 2" O.C. STAGGERED ⁵	A35 CLIPS @ 10" O.C. 5/8"Ø A.B. @ 2'-0" O.C.

BLOCK PANEL EDGES WITH 3/4" LAD FLAT AND NAIL PANELS TO INTERMEDIATE SUPPORTS WITH 8d @ 12" O.C.
 * PANEL JOINTS EACH FACE OF WALL TO BE OFFSET TO FALL ON DIFFERENT MEMBERS.
 ** 8d NAILS SHALL BE 0.131"Ø x 2-1/2" and 12d NAILS SHALL BE 0.131"Ø x 3".
 *** IF LUMBER JOISTS ARE USED, THEN D. FIR RIMBOARD/BLOCKING MAY BE USED.
 **** TWO ROWS TO BE STAGGERED AND OFFSET BY 3/4".
 ***** LTPA PLATES INSTALLED HORIZONTALLY MAY BE USED IN LIEU OF A35 CLIPS WITH APPROVAL FROM THE ENGINEER.
 ***** EMBED ANCHOR BOLTS 7" MINIMUM INTO CONCRETE. ALL BOLTS SHALL HAVE 2-1/2"Ø x 1/4" THICK PLATE WASHERS AT THE TOP OF BOLTS & STANDARD WASHER AND DOUBLE NUTS AT THE BOTTOM.
 ***** 3x OR DOUBLE STUDS NAILED TOGETHER WITH 10d NAILING IS REQUIRED AT ABUTTING PANEL EDGES FOR NAIL SPACING 3" AND LESS. WHERE 3x STUDS ARE USED, STAGGER NAILING AT ADJOINING PANEL EDGES.
 ***** FOR BUILT-UP COLUMNS AT HOLD DOWN LOCATIONS, SHEATHING SHALL BE NAILED TO EACH BUILT-UP COLUMN AS PER NOTE 1.
 ***** SUBSTITUTION OF NAIL SIZE MUST BE CONFIRMED WITH THE ENGINEER PRIOR TO USE.
 ***** PLYWOOD SHEARWALL SCHEDULE TO BE READ IN CONJUNCTION WITH TYPICAL DETAILS.

HOLD DOWN SCHEDULE				
MARK	SIMPSON HD	HOLD DOWN ANCHOR ⁽⁶⁾	MIN. WOOD THICKNESS ⁽⁷⁾	MIN. WOOD WIDTH
HD1	HDU2-SDS2.5	5/8"	3"	3.5"
HD2	CMST12	-	3.5"	3"
HD3	CMST12 (E.S.)	-	3.5"	3"
HD4	CMSTC16	-	3.5"	3"
HD5	HDU8-SDS2.5	7/8"	3"	3.5"
HD6	CMSTC14	-	3.5"	3"

1. ASSUME #6 VERTS @ 16" O.C. MIN.
 2. ENSURE HOLD DOWN IS LAPPED WITH VERTICAL BAR PER LAP LENGTH IN GENERAL NOTES.
 3. SEE BUILT-UP COLUMN TYPICAL DETAILS FOR NAILING.

COLUMN SCHEDULE	
MARK	DIMENSIONS
C1	HSS 6 x 0.250
C2	W14 x 82
C3	3 1/2" x 7" 1.8E PSL
C4	HSS 3 1/2 x 3 1/2 x 3/8
C5	3 1/2" x 5 1/4" 1.8E PSL
C6	5 1/4" x 5 1/4" 1.8E PSL
C7	5 1/4" x 7" 1.8E PSL

NOTE: ALL EXTERIOR STEEL TO BE H.D. GALV. OR PROTECTED BY APPROVED COATING.

JOIST SCHEDULE		
MARK	DIMENSIONS	HANGER BY SST (UNO) (IF REQ'D)
J1	16" TJI JOIST 210 @ 16"	IUS2.06/16
J2	16" TJI JOIST 230 @ 16"	ONE SIDE CUSTOM SKewed
J3	3 1/4" x 9.5" 2.0E LVL @ 16"	IUS1.81/9.5
J4	2x10 @ 16"	LUS28
J5	14" TJI JOIST 360 @ 12"	IUS2.37/14
J6	11 7/8" TJI JOIST 560 @ 12"	IUS3.56/11.88
J8	11 7/8" TJI JOIST 110 @ 16"	IUS1.81/11.88
J9	11 7/8" TJI JOIST 360 @ 16"	IUS2.37/11.88
J10	9 1/2" TJI JOIST 110 @ 16"	IUS1.81/9.5
J11	11 7/8" TJI JOIST 110 @ 24"	IUS1.81/11.88

BEAM SCHEDULE		
MARK	DIMENSIONS	CONNECTION DEMAND (ASD)
B1	5 1/4" x 16" 2.2E PSL	Vmax = 6000 lbs
B2	W14 x 82	SEE ELEVATION ON S400
B4	3 1/2" x 14" 2.2E PSL	Vmax = 3080 lbs
B5	5 1/4" x 16" 2.2E PSL	Vmax = 17325 lbs (TRANSFER)
B6	3 1/2" x 9 1/2" 2.2E PSL	Vmax = 3285 lbs
B7	2 PLY 2x10	Vmax = 2000 lbs
B8	W12 x 53	Vmax = 36 kips, Mmax = 86 kip-ft
B9	W12 x 89	Vmax = 35 kips
B10	W16 x 67	Vmax = 40 kips
B12	5 1/4" x 14" 2.2E PSL	Vmax = 3679 lbs
B13	2 PLY 1 3/4" x 11 7/8" 2.0E LVL	Vmax = 3940 lbs
B14	7" x 11 7/8" 2.2E PSL	Vmax = 4280 lbs
B15	3 1/2" x 11 7/8" 2.2E PSL	Vmax = 2440 lbs
B16	W12 x 45	SEE ELEVATION ON S400
B17	2 PLY 2x12	Vmax = 2000 lbs
B18	3 1/2" x 14" 2.2E PSL	Vmax = 11541 lbs (TRANSFER)
B19	5 1/4" x 14" 2.2E PSL	Vmax = 8420 lbs (TRANSFER)
B20	3 1/2" x 14" 2.2E PSL	Vmax = 2750 lbs

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PROJECT ZERO & BUILDING ELEVATIONS		
	TRUE ELEVATION	ELEVATION TO PROJECT ZERO
PROJECT ZERO:	+000.00	+0.00
AVERAGE BUILDING ELEVATION:	+000.00	-0.00
GROUND LEVEL:	+000.00	+0.00
MAXIMUM BUILDING HEIGHT:	+000.00	+000.00
MAXIMUM BUILDING HEIGHT (ROOF HEIGHT EXCEPTIONS):	+000.00	+00.00
ACTUAL BUILDING HEIGHT:	+000.00	+00.00

NOTE: ALL DIMENSION TO PROJECT ZERO, UNLESS NOTED OTHERWISE.

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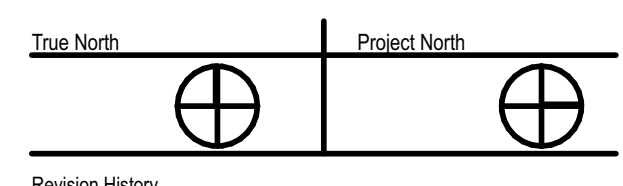
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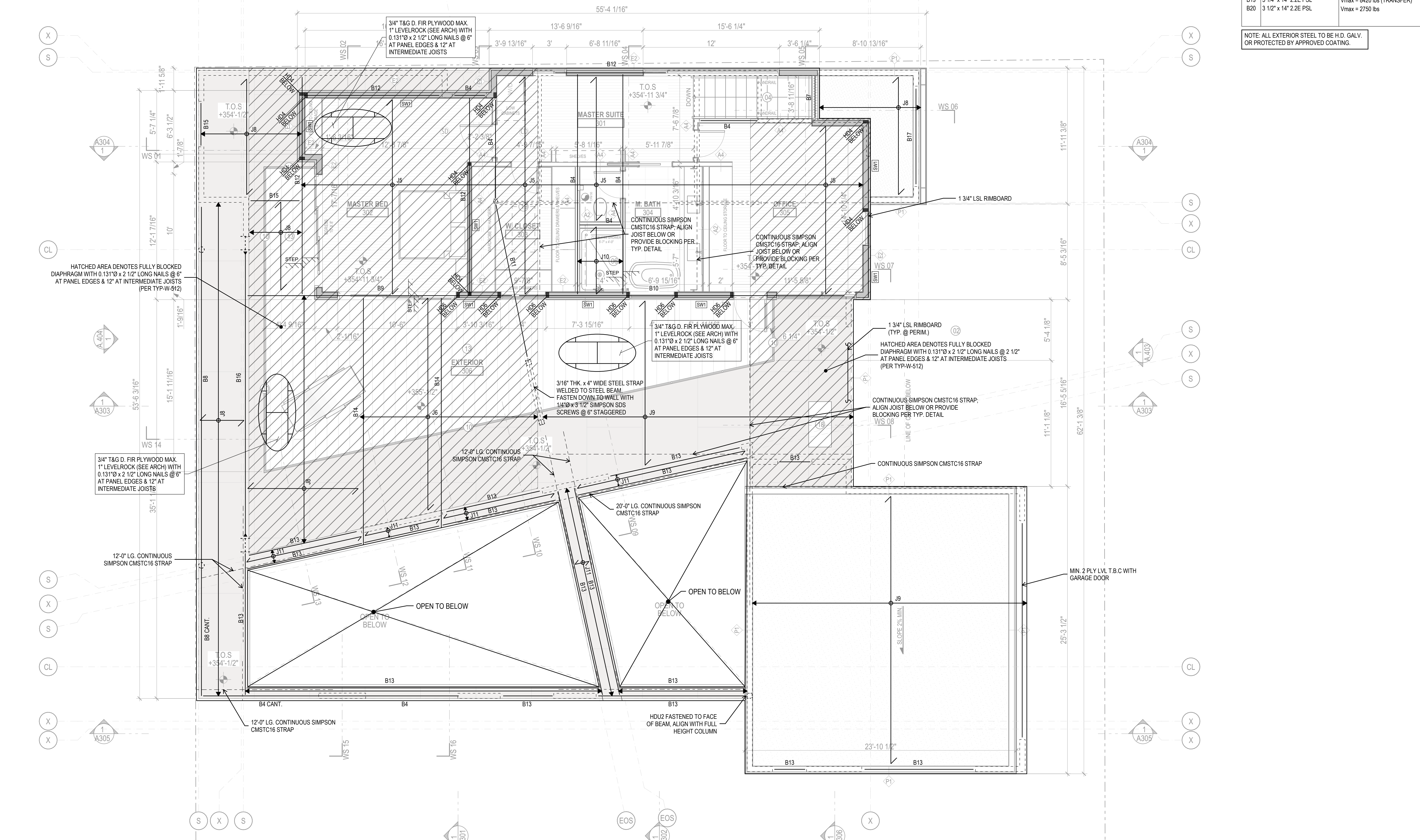
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YAROSLAVSKY
 9319 SE 43RD ST
 MERCER ISLAND, WA 98040



Sheet Size: 2021-03-08
 34" x 36"
 Drawing Title:
UPPER LEVEL PLAN

Drawing Status:
BUILDING PERMIT
 Issue Date:
 12/30/20
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BUILDING PERMIT
 Revision:
 01

SHEET NAME



JOIST SCHEDULE		
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J11	11 7/8" TJI JOIST 110 @ 24"	IUS1.81/11.88

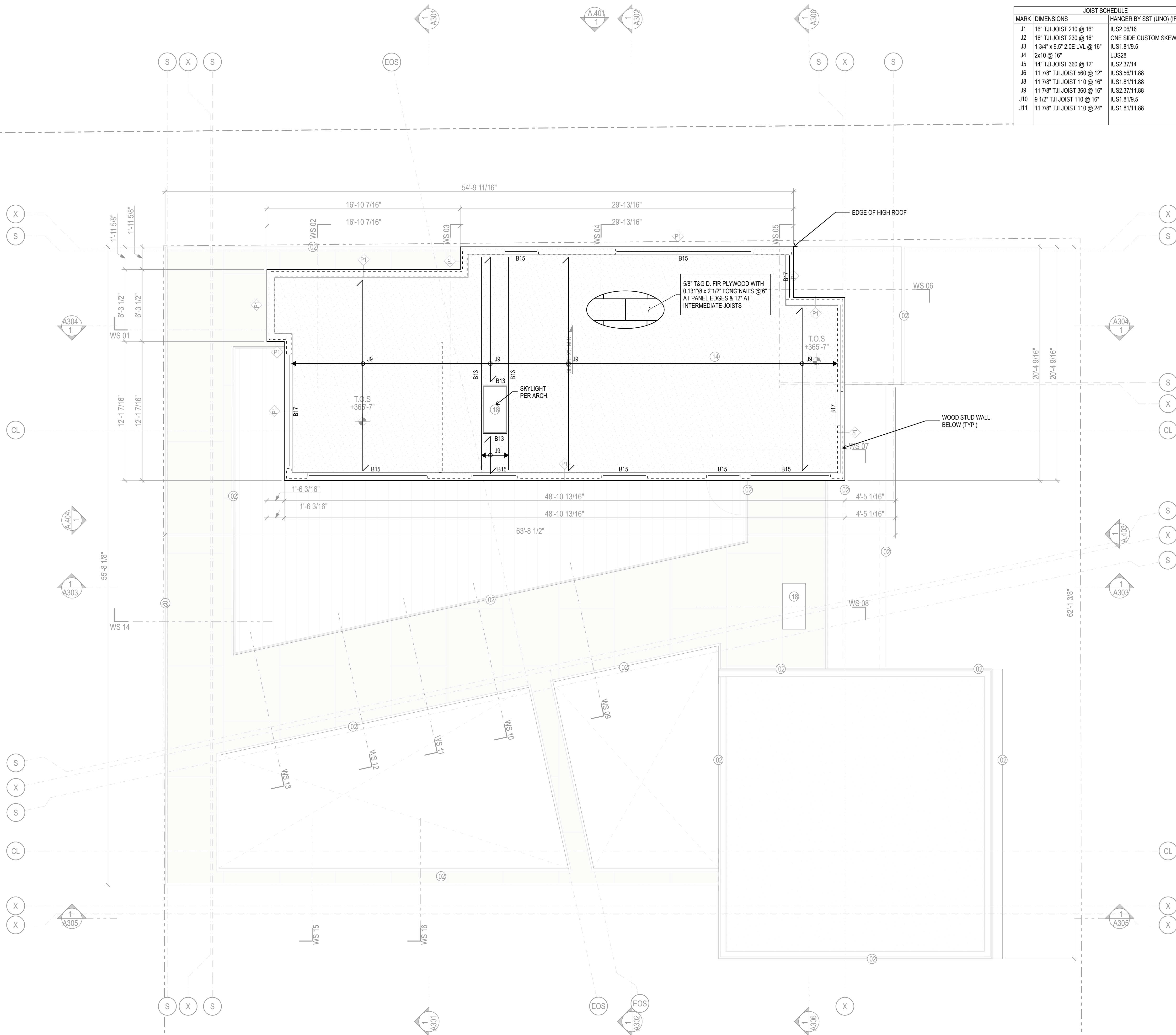
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MARK	DIMENSIONS	CONNECTION DEMAND (ASD)
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B10	W16 x 89	Vmax = 35 kips
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PROJECT ZERO:	TRUE ELEVATION	ELEVATION TO PROJECT ZERO
AVERAGE BUILDING ELEVATION	+000.00	-0.00
GROUND LEVEL:	+000.00	+0.00
MAXIMUM BUILDING HEIGHT:	+000.00	+000.00
MAXIMUM BUILDING HEIGHT (ROOF HEIGHT EXCEPTIONS):	+000.00	+00.00
ACTUAL BUILDING HEIGHT:	+000.00	+00.00

NOTE: ALL DIMENSION TO PROJECT ZERO, UCN.

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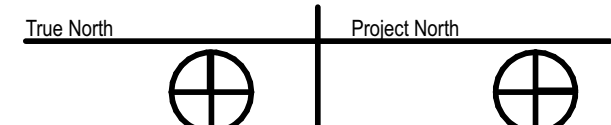
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Project Name
YAROSLAVSKY
 9319 SE 43RD ST
 MERCER ISLAND, WA 98040



Revision History

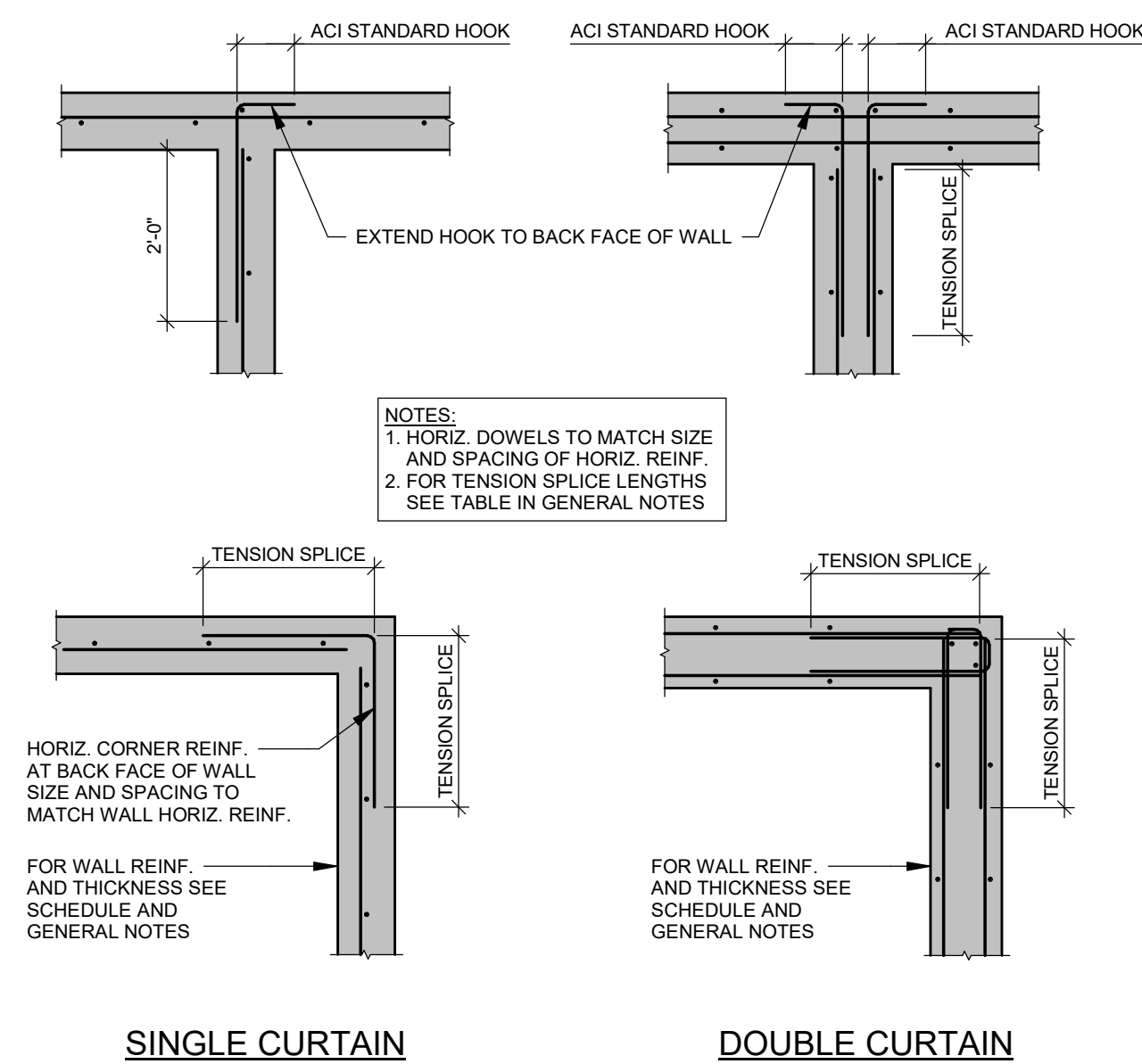


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301 ROOF PLAN

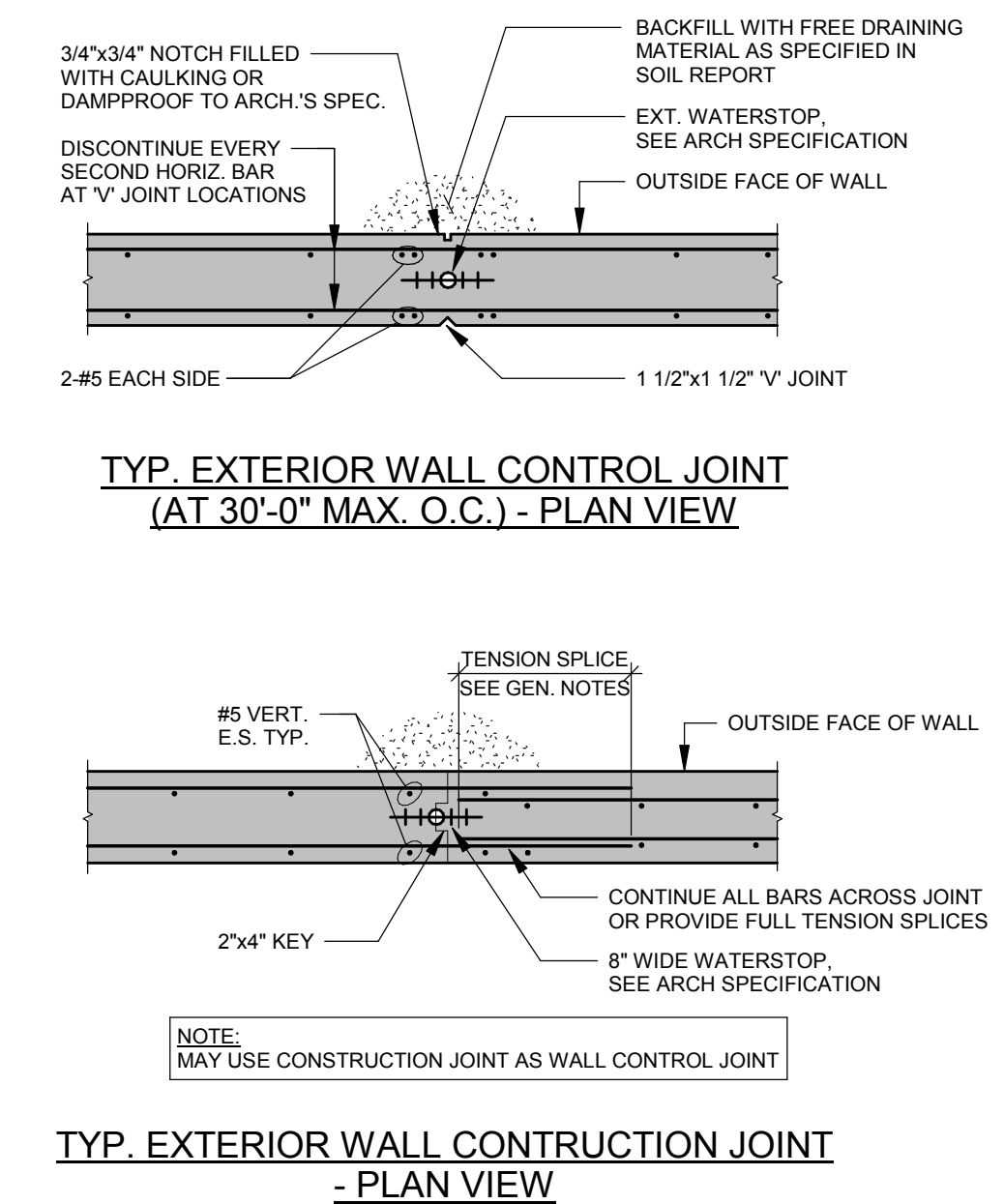
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 Revision:

SHEET NAME

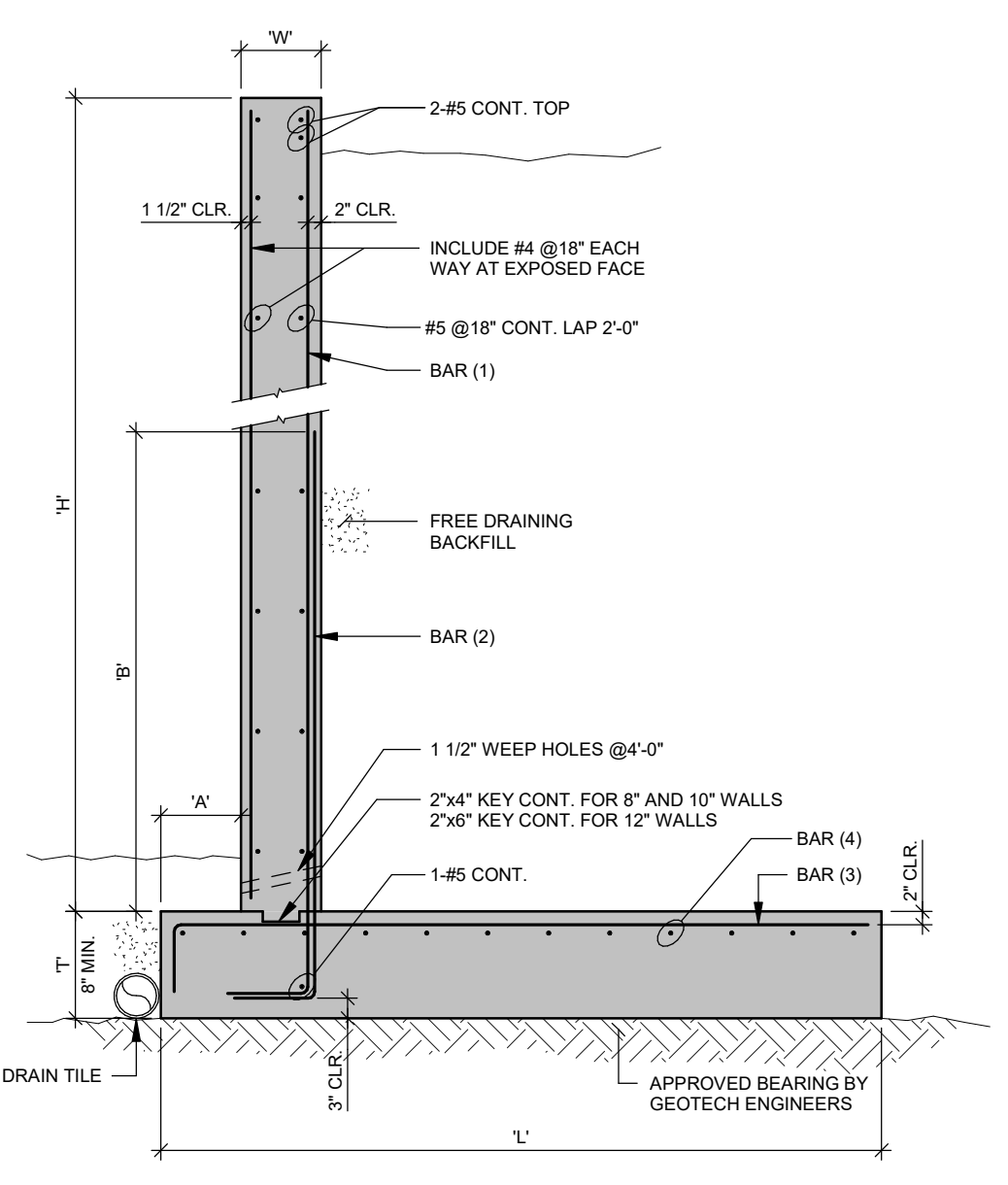
TYPICAL HORIZONTAL REINFORCEMENT AT WALL CORNERS (UNO) TYP-C-301C



TYPICAL EXTERIOR WALL CONTROL & CONSTRUCTION DETAIL TYP-C-304



TYPICAL RETAINING WALL WITH TOE & HEEL TYP-C-309A



RETAINING WALL SCHEDULE

H	W	L	T	A	B	BAR (1)	BAR (2)	BAR (3)	BAR (4)
≤10'-0"	10"	6'-6"	12"	12"	5'-0"	C#6 @12"	C#6 @12"	C#5 @6"	#5 @12" CONT.
≤8'-0"	8"	5'-6"	12"	8"	-	C#5 @8"	-	C#5 @8"	#5 @12" CONT.

PROJECT ZERO & BUILDING ELEVATIONS

PROJECT ZERO:	TRUE ELEVATION	ELEVATION TO PROJECT ZERO
PROJECT ZERO:	+000.00	+0.00
AVERAGE BUILDING ELEVATION	+000.00	-0.00
GROUND LEVEL:	+000.00	+0.00
MAXIMUM BUILDING HEIGHT:	+000.00	+000.00
MAXIMUM BUILDING HEIGHT (ROOF HEIGHT EXCEPTIONS):	+000.00	+00.00
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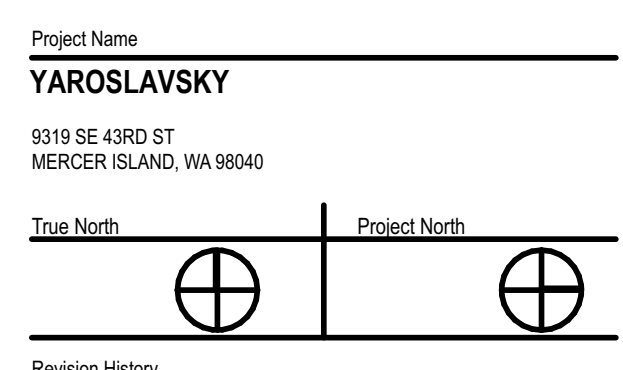
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Drawing Title:
TYPICAL DETAILS

Drawing Status:
BUILDING PERMIT

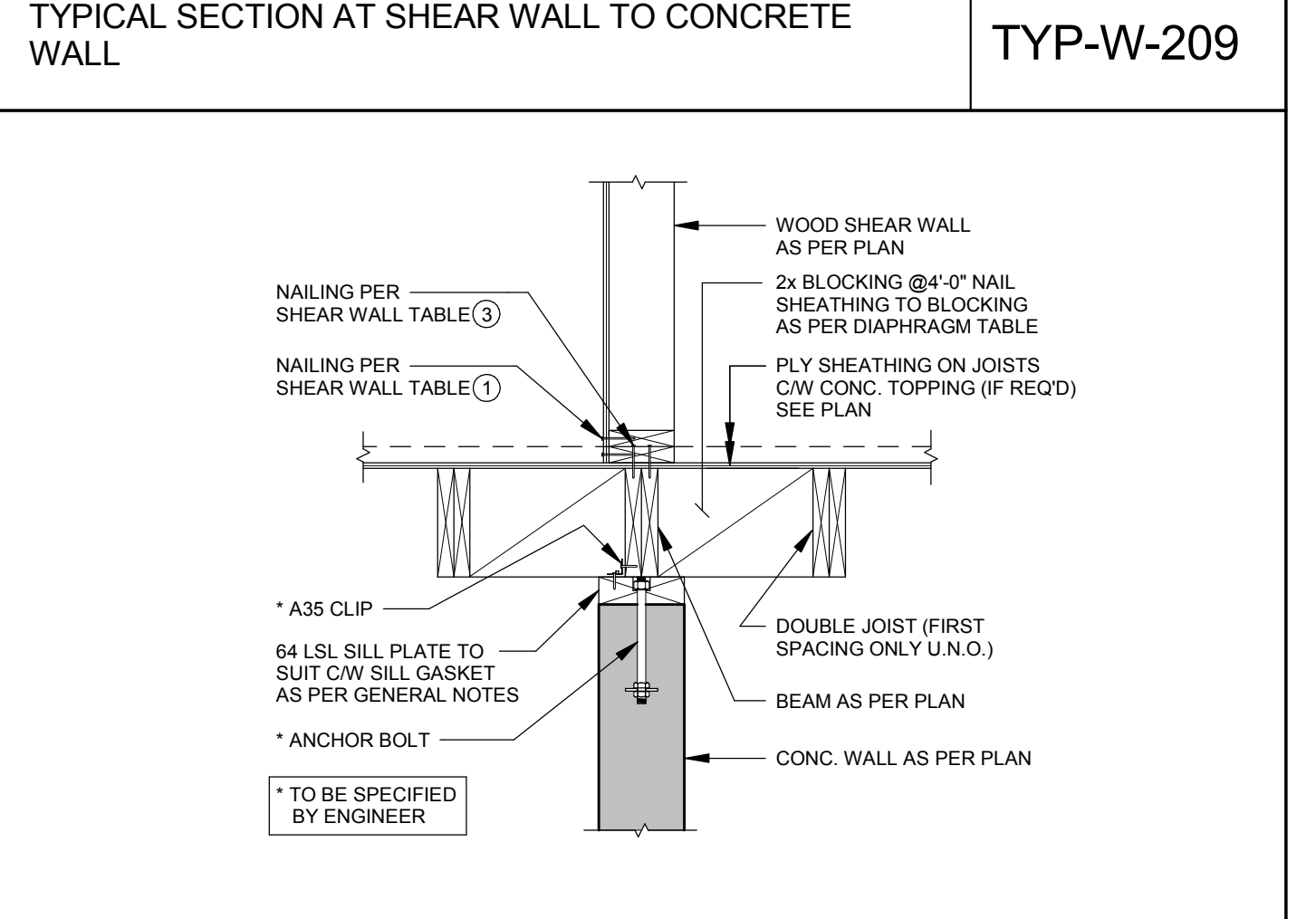
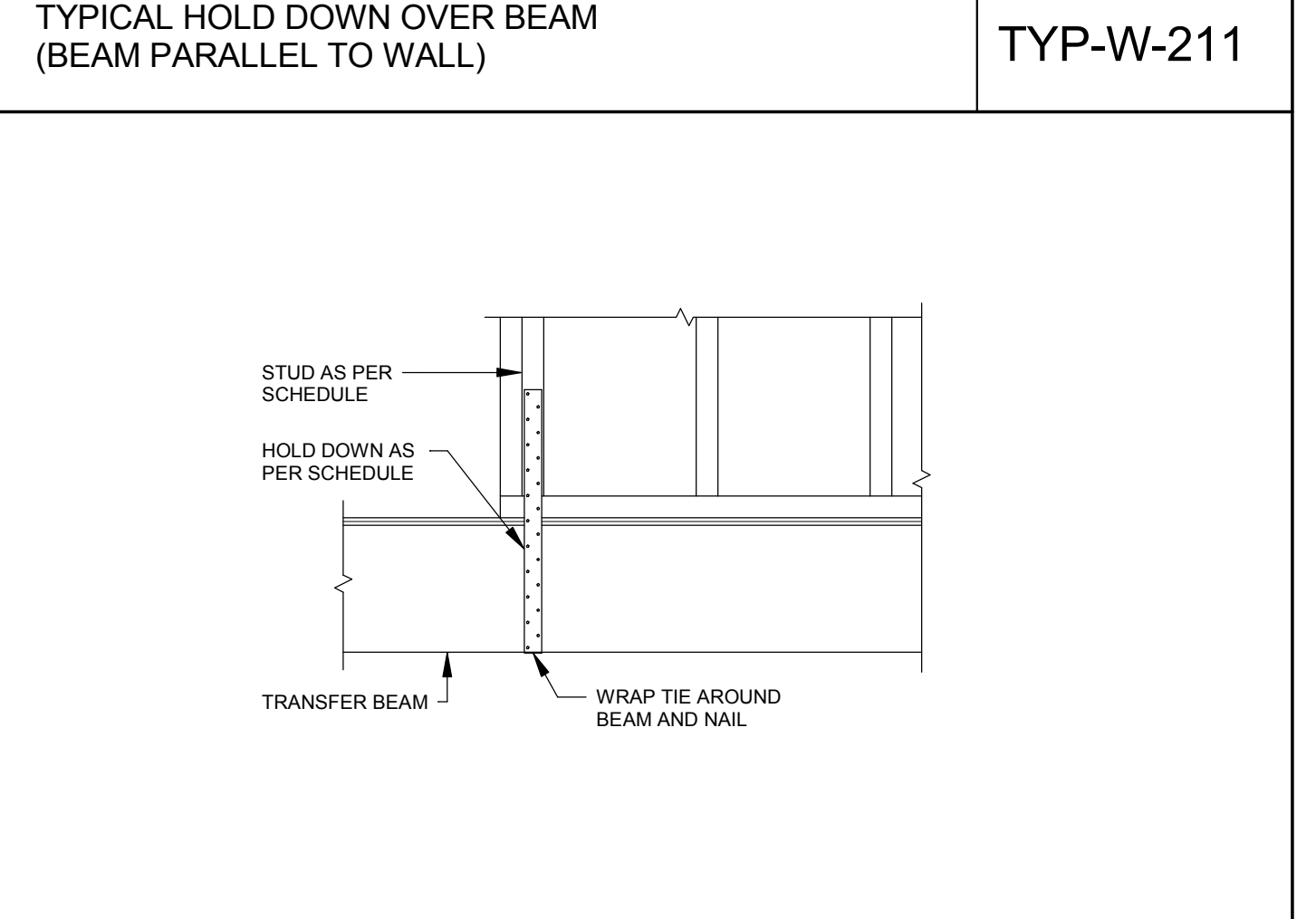
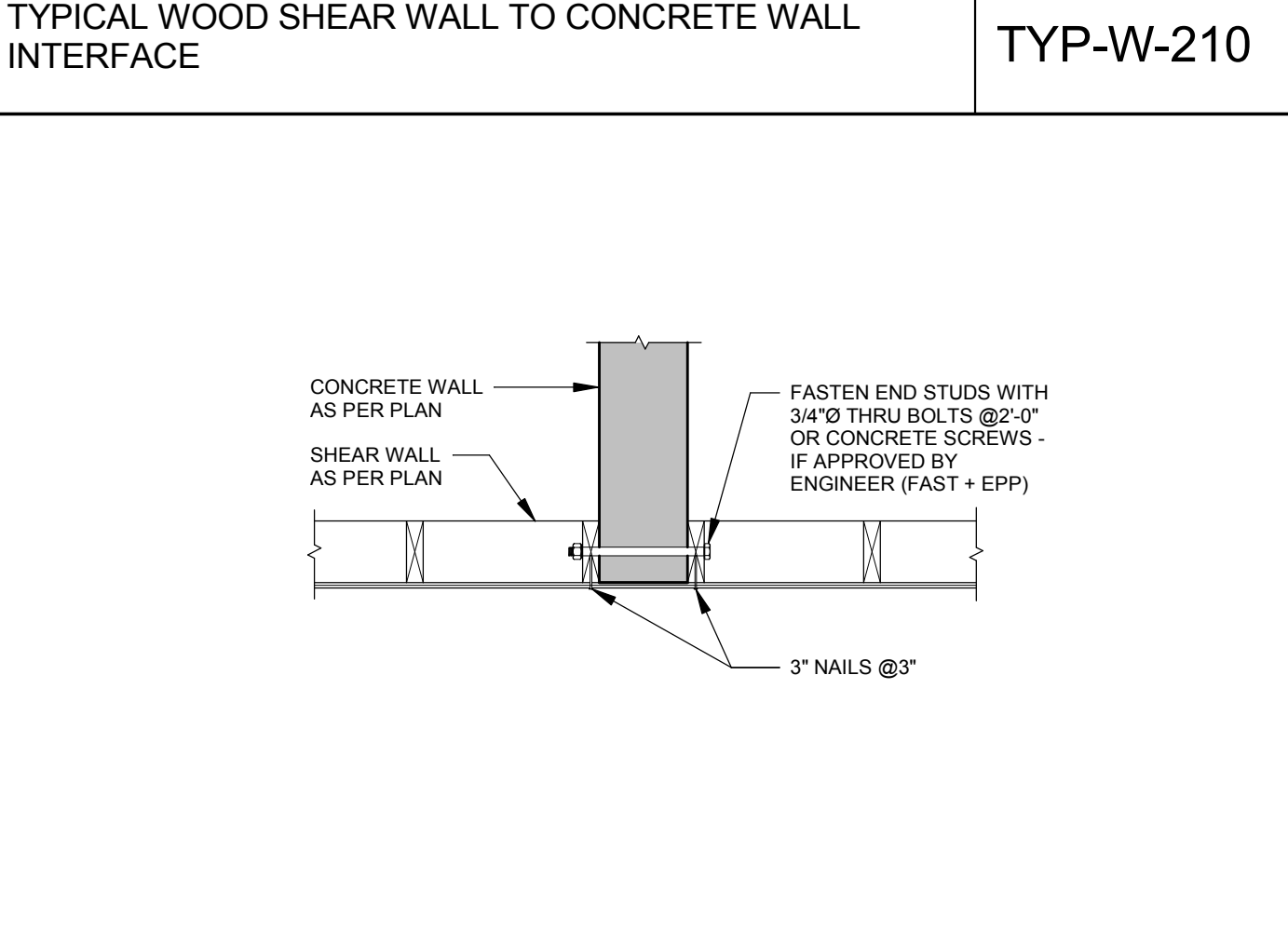
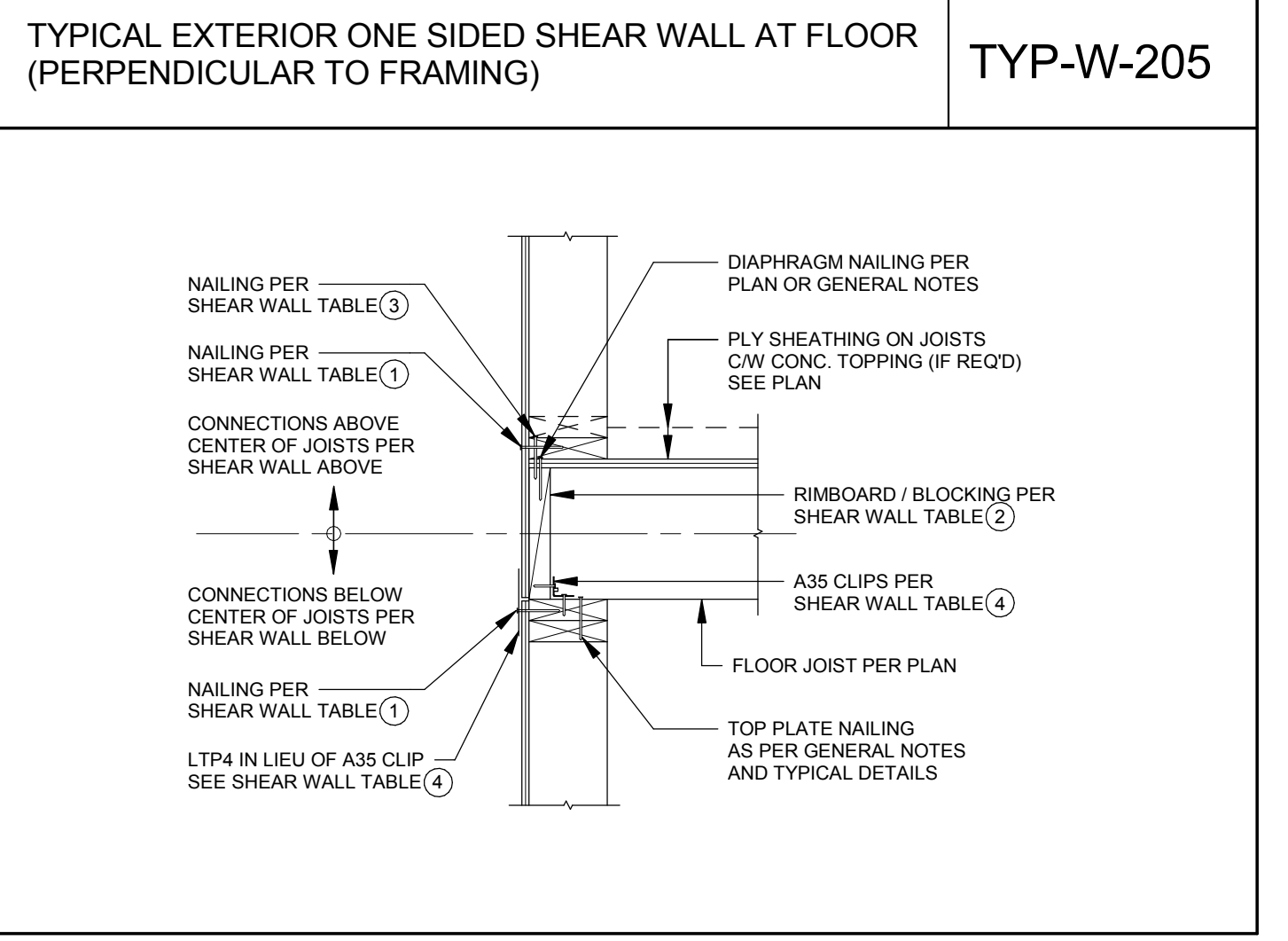
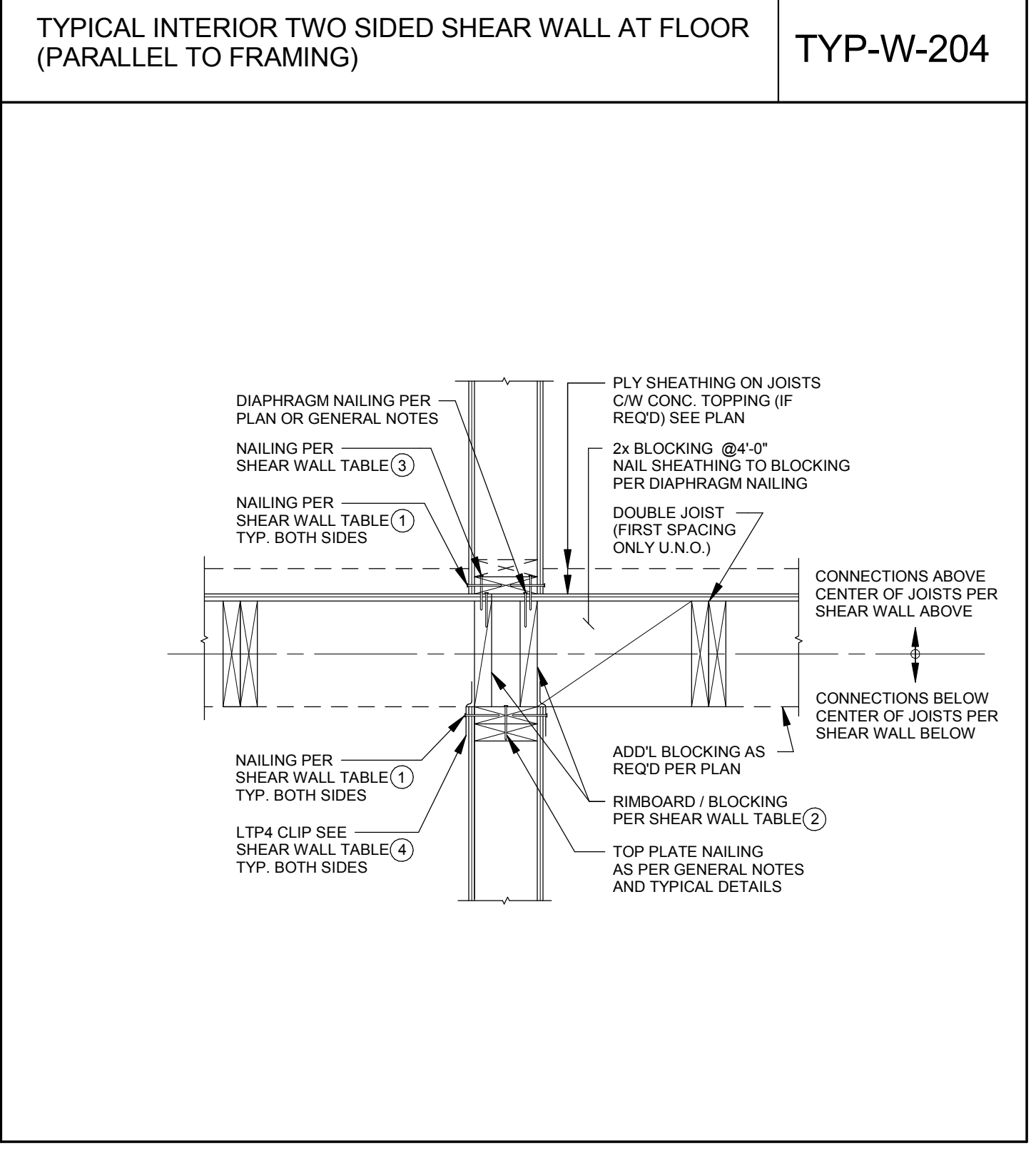
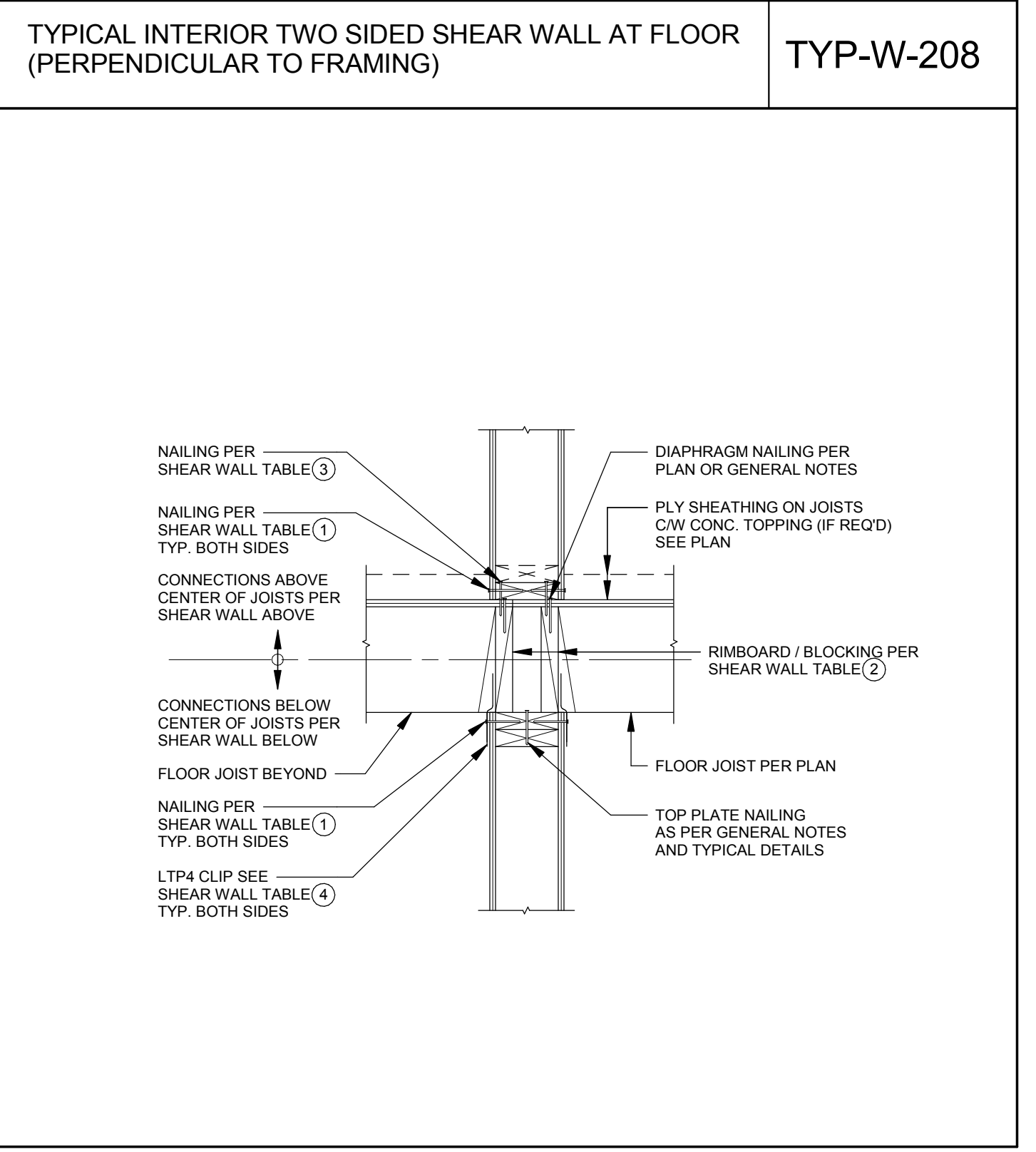
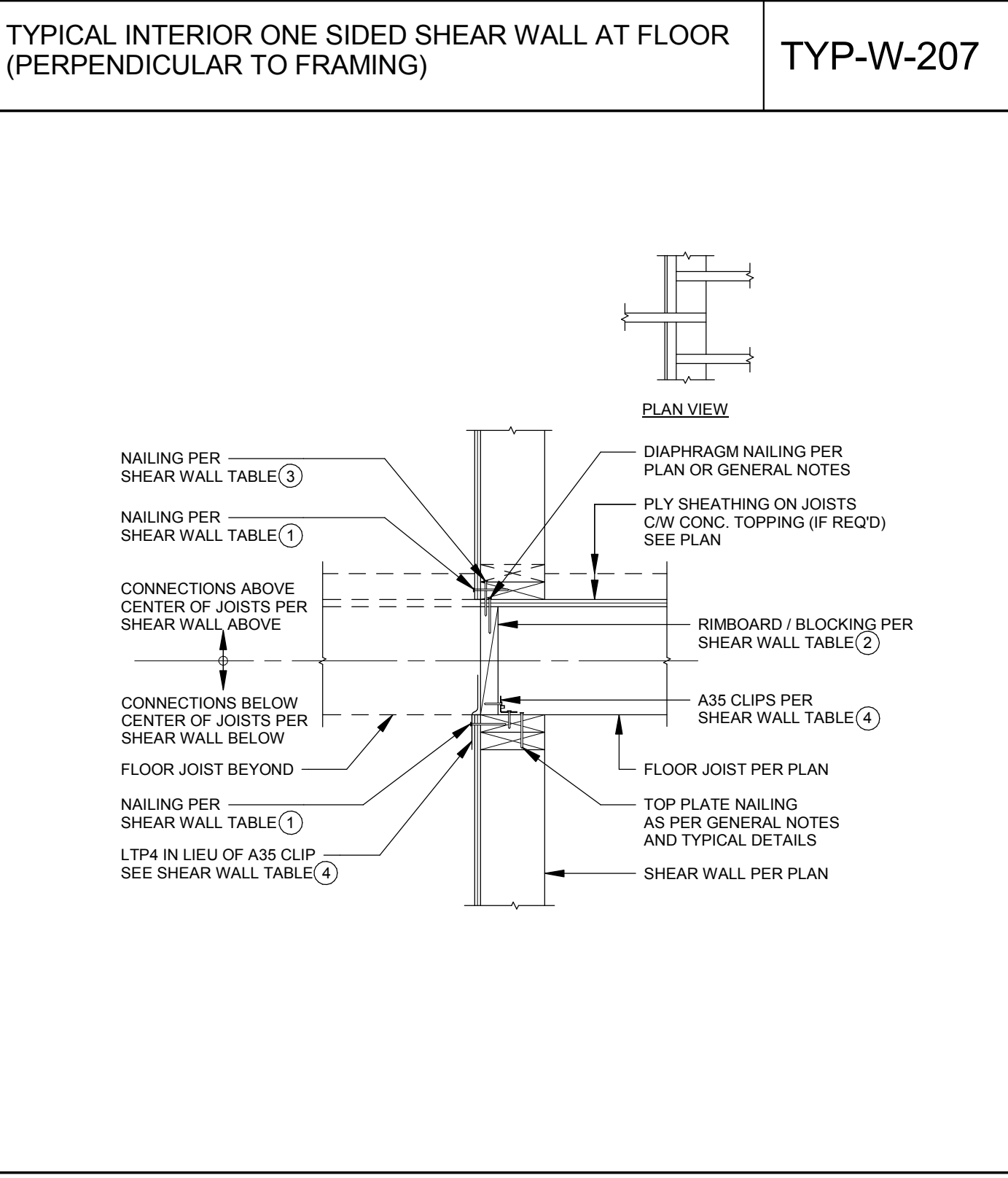
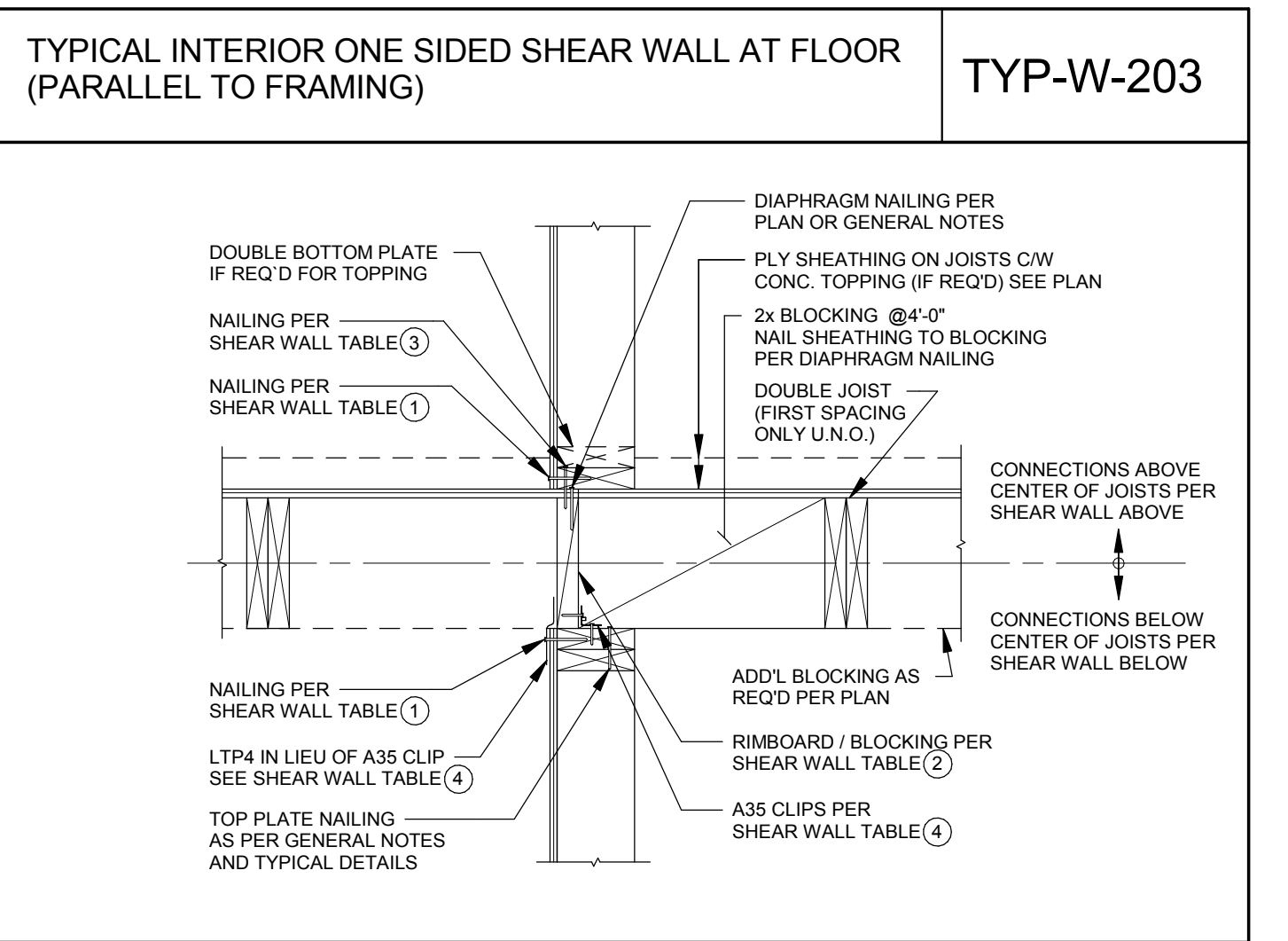
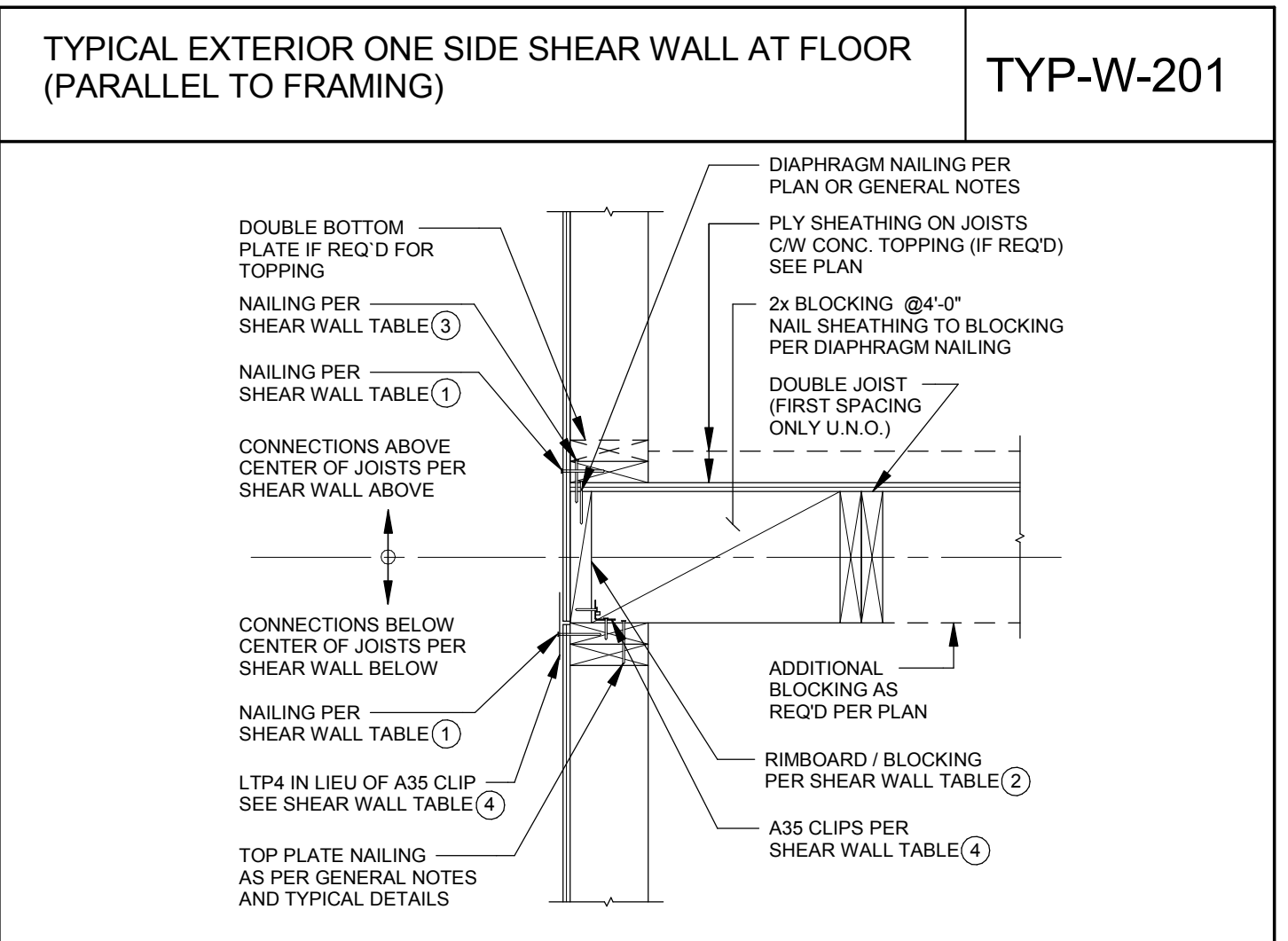
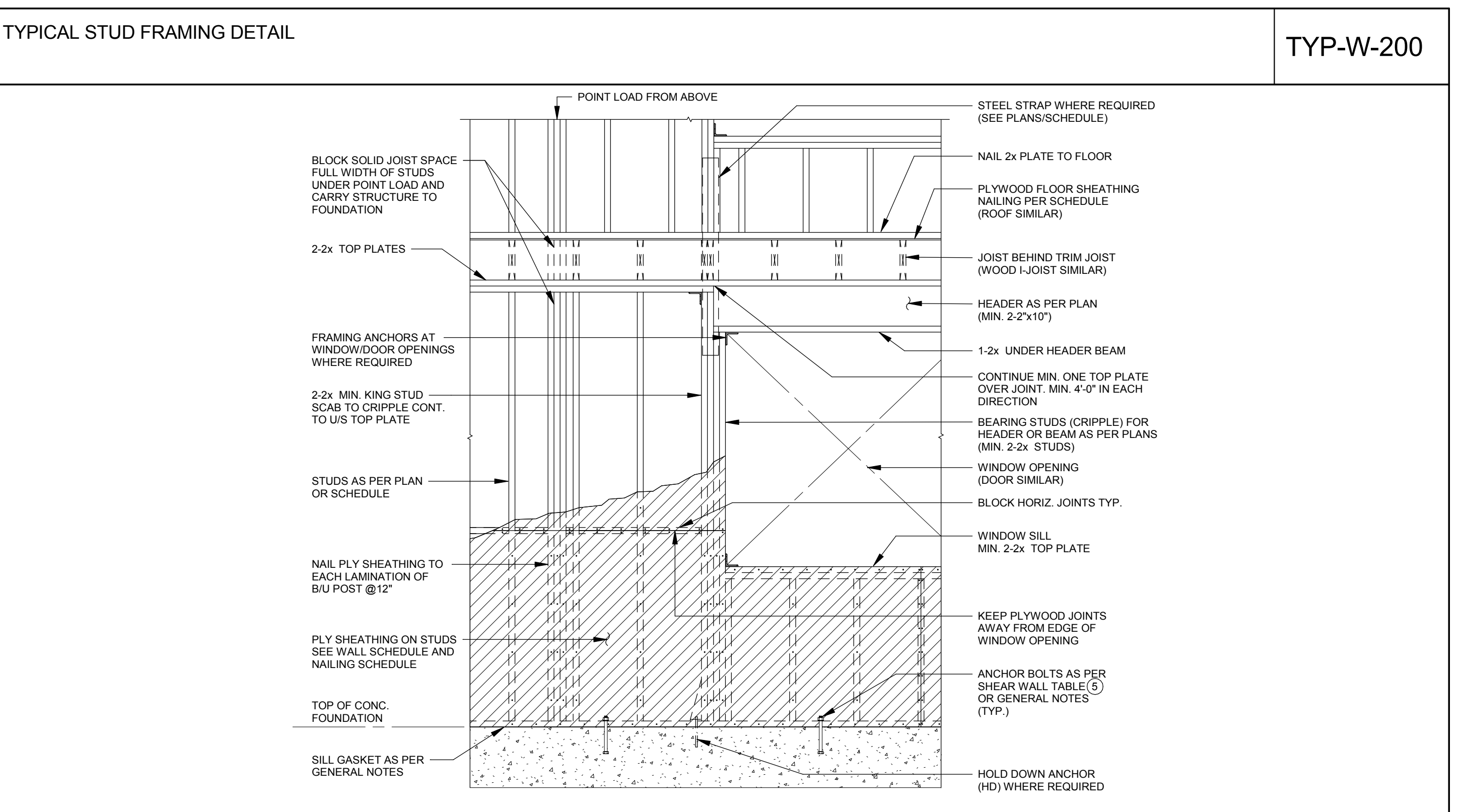
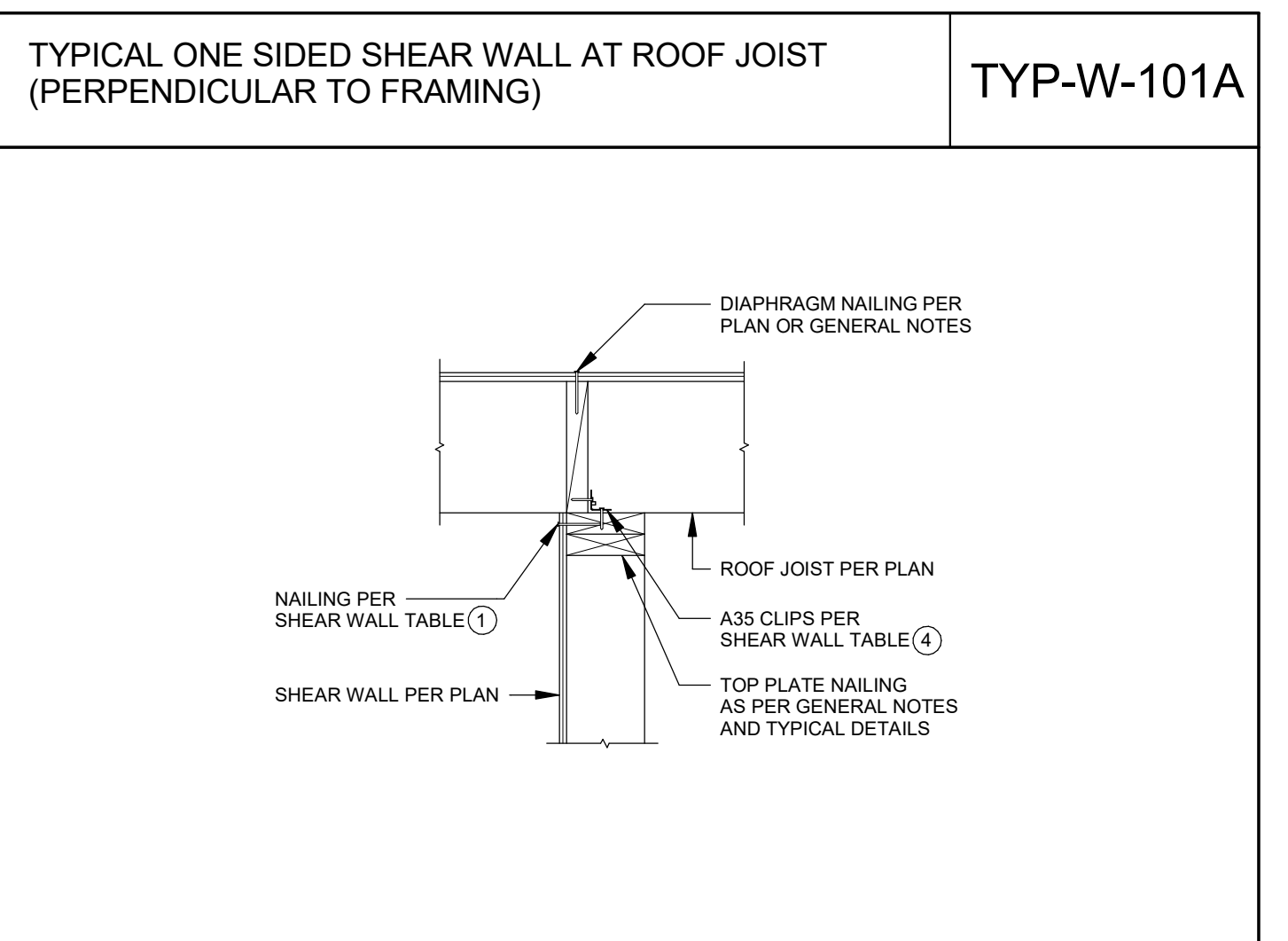
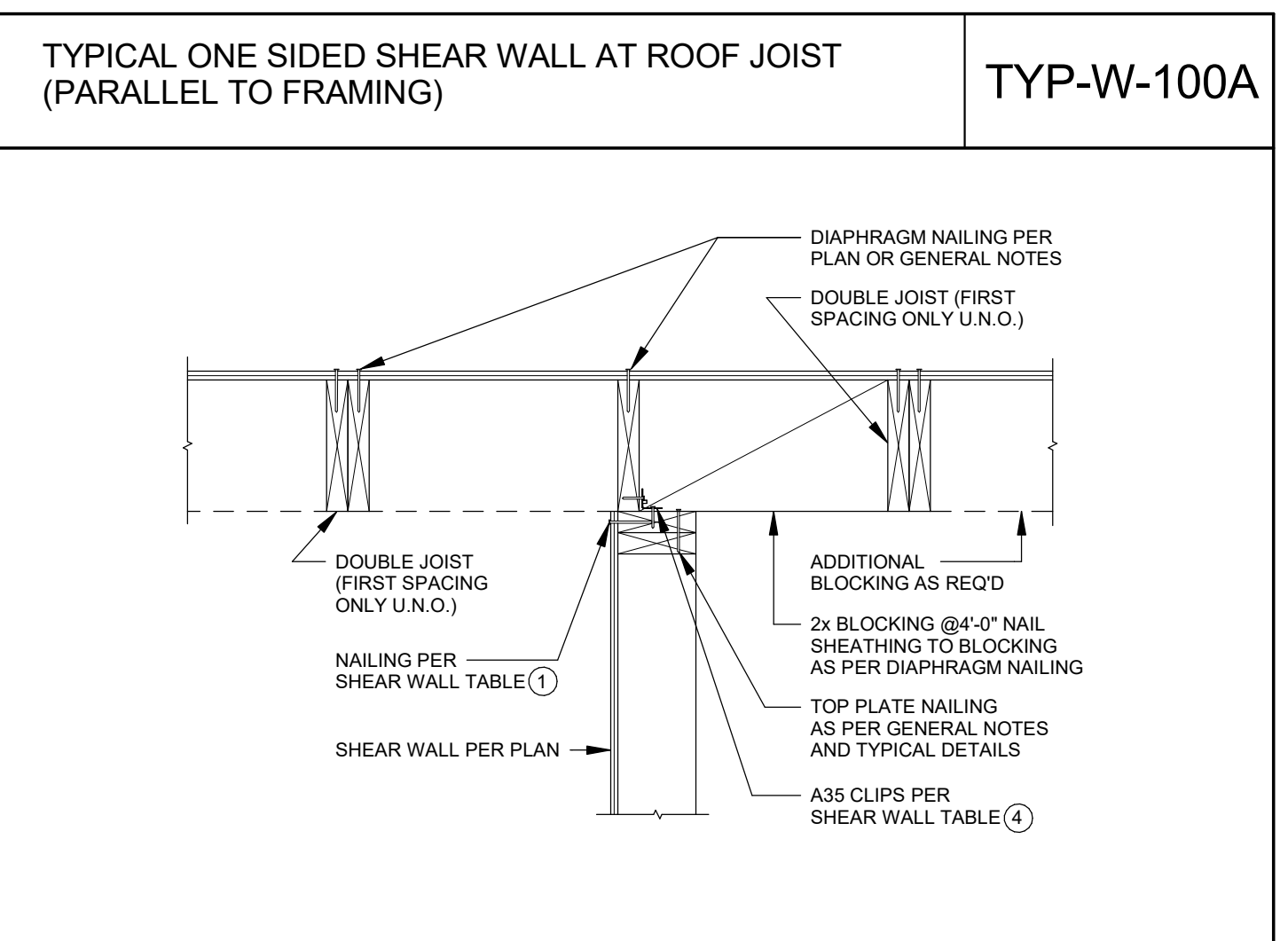
Issue Date:
12/30/20

Issue:
BUILDING PERMIT

Revision:
01

SHEET NAME

S301



PROJECT ZERO & BUILDING ELEVATIONS	TRUE ELEVATION	ELEVATION TO PROJECT ZERO
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GROUND LEVEL:	+000.00	+0.00
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True North Project North

Revision History



Sheet Size: 2021-03-08
24" x 36"

Drawing Title:
TYPICAL DETAILS

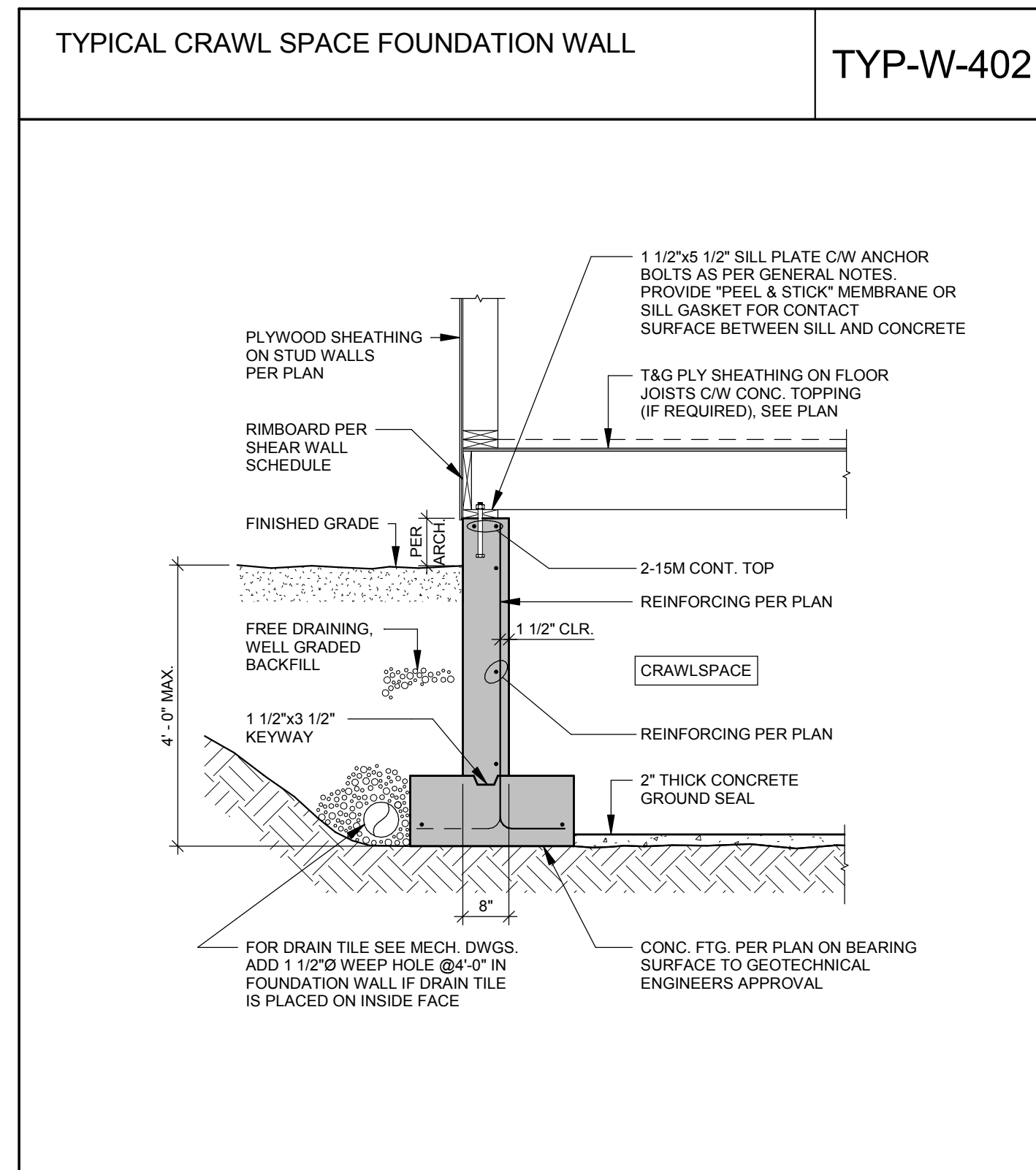
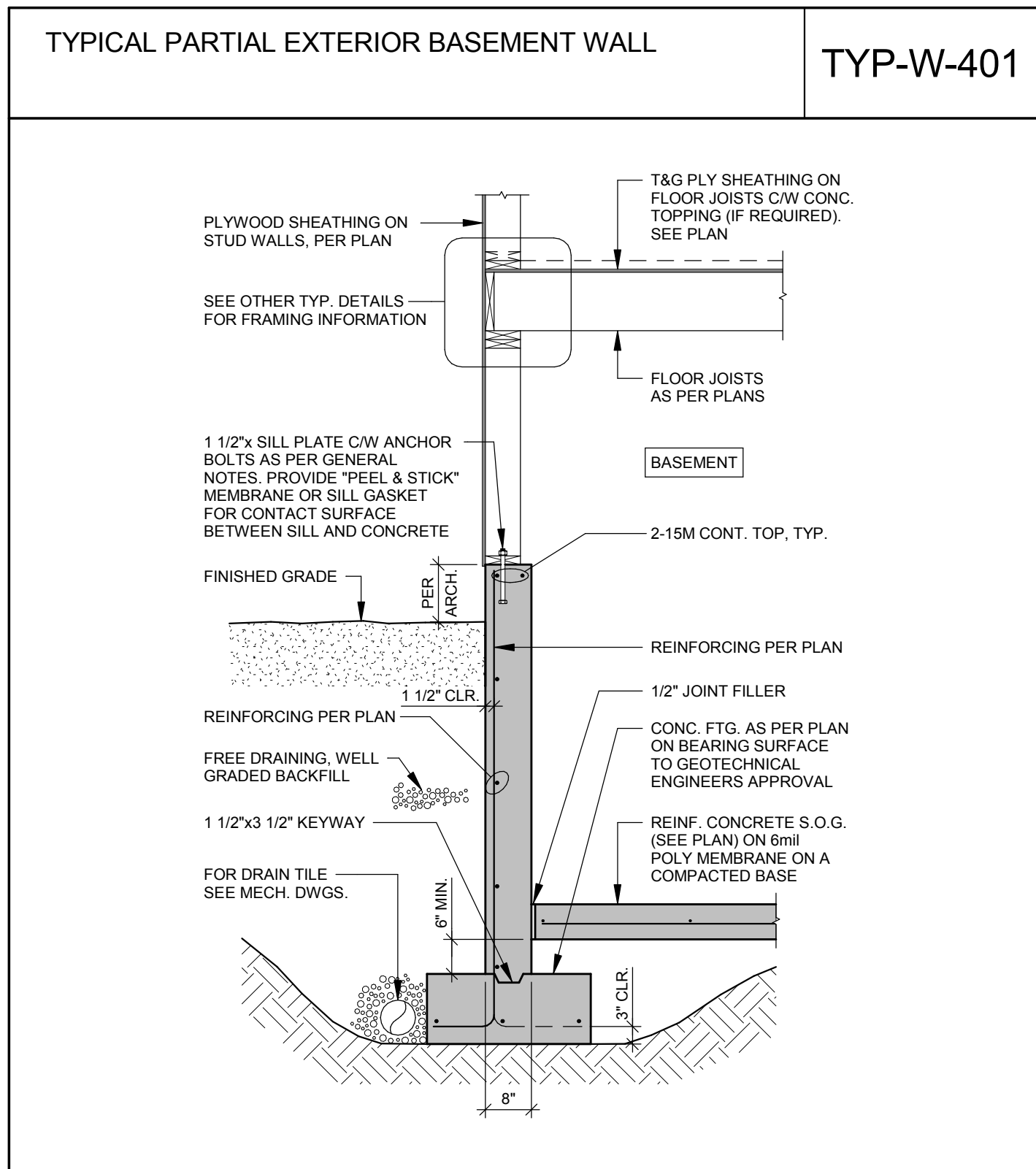
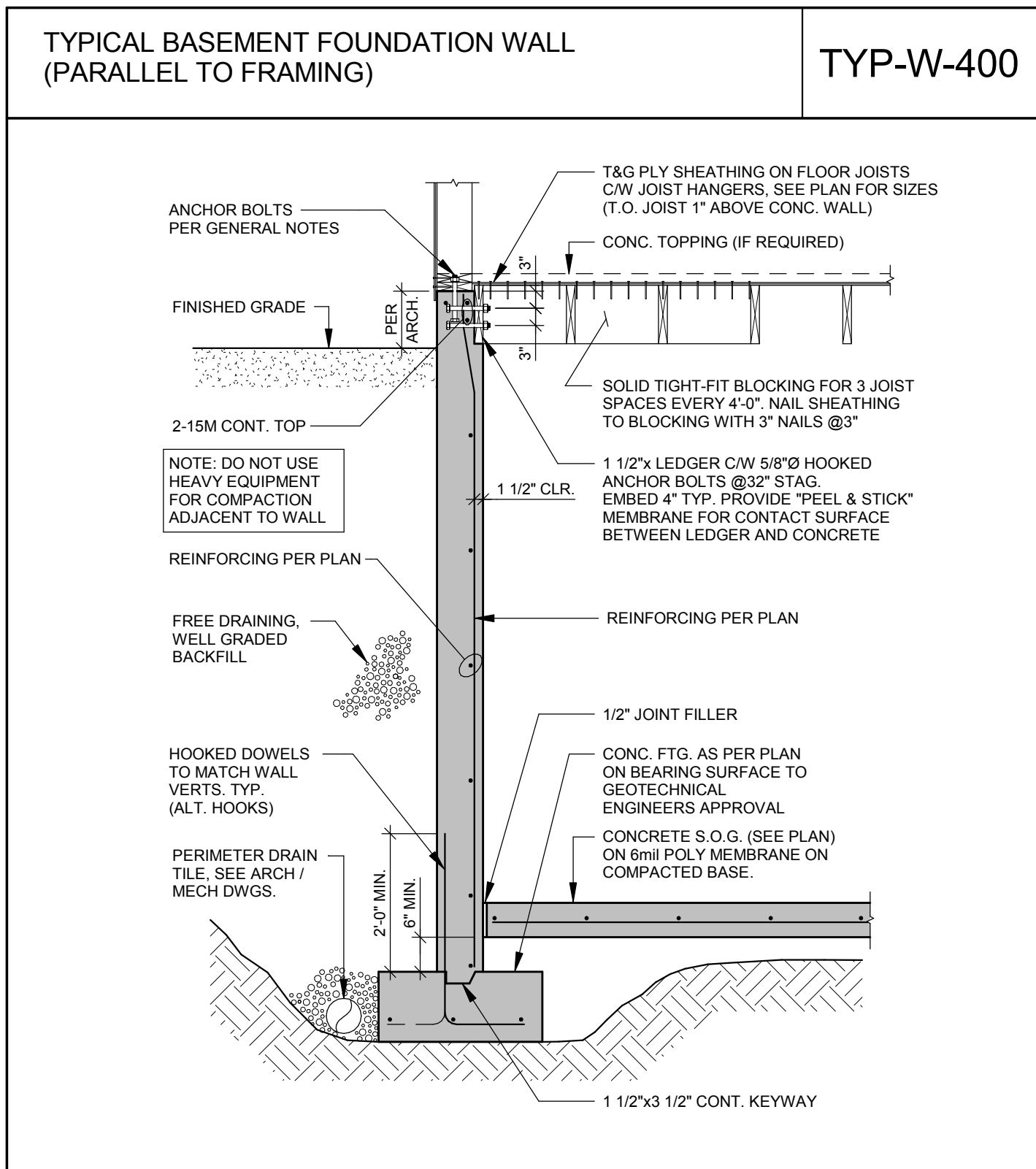
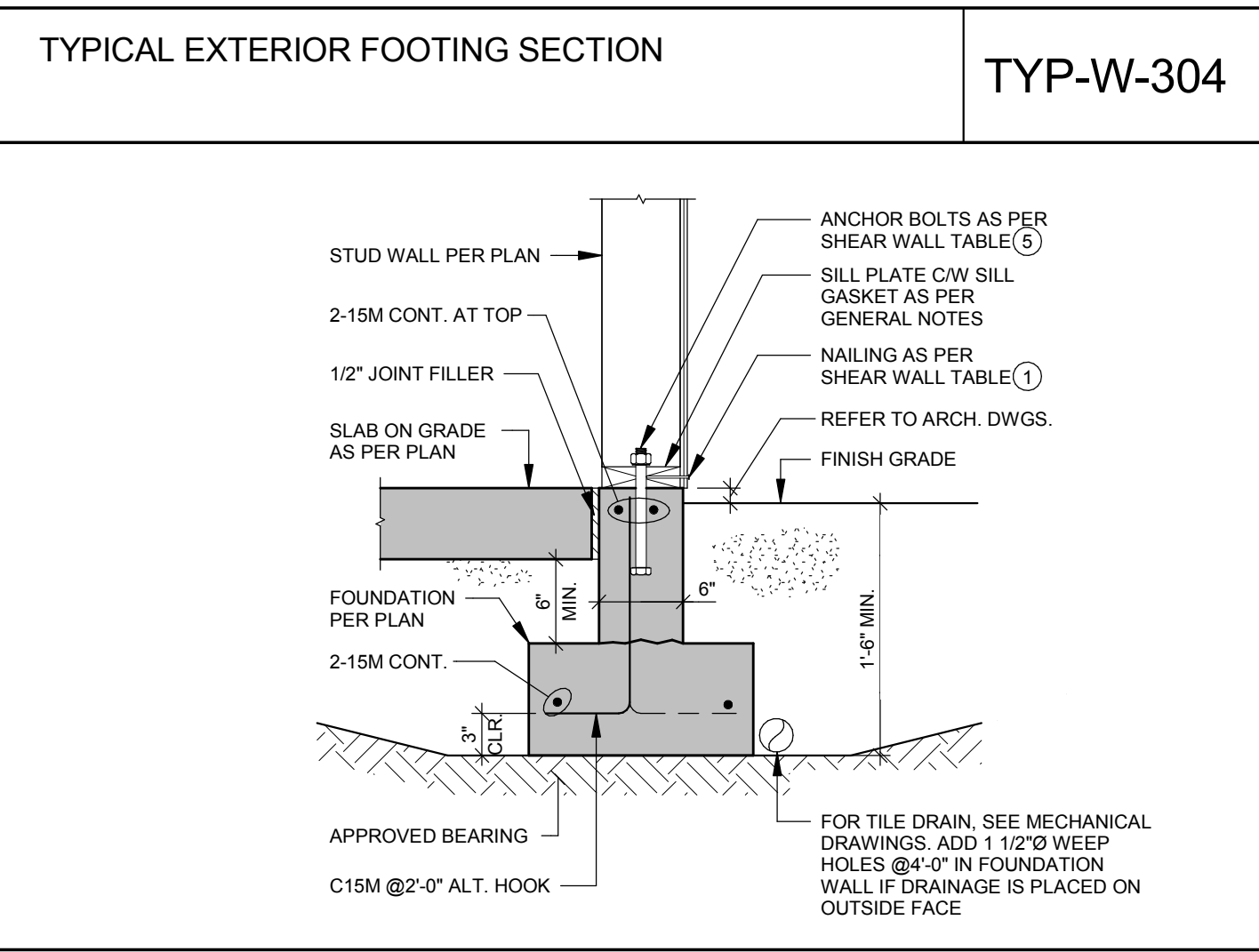
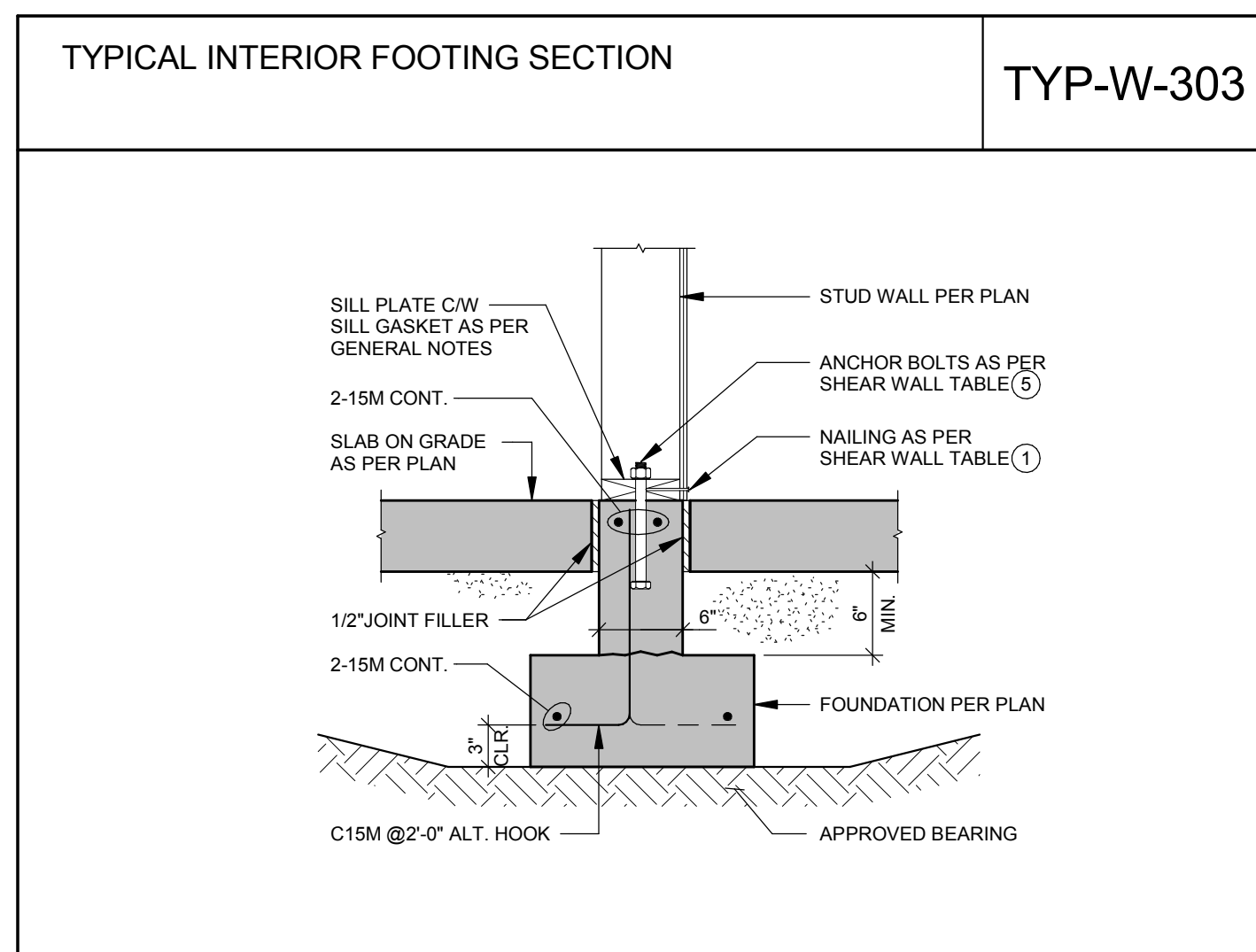
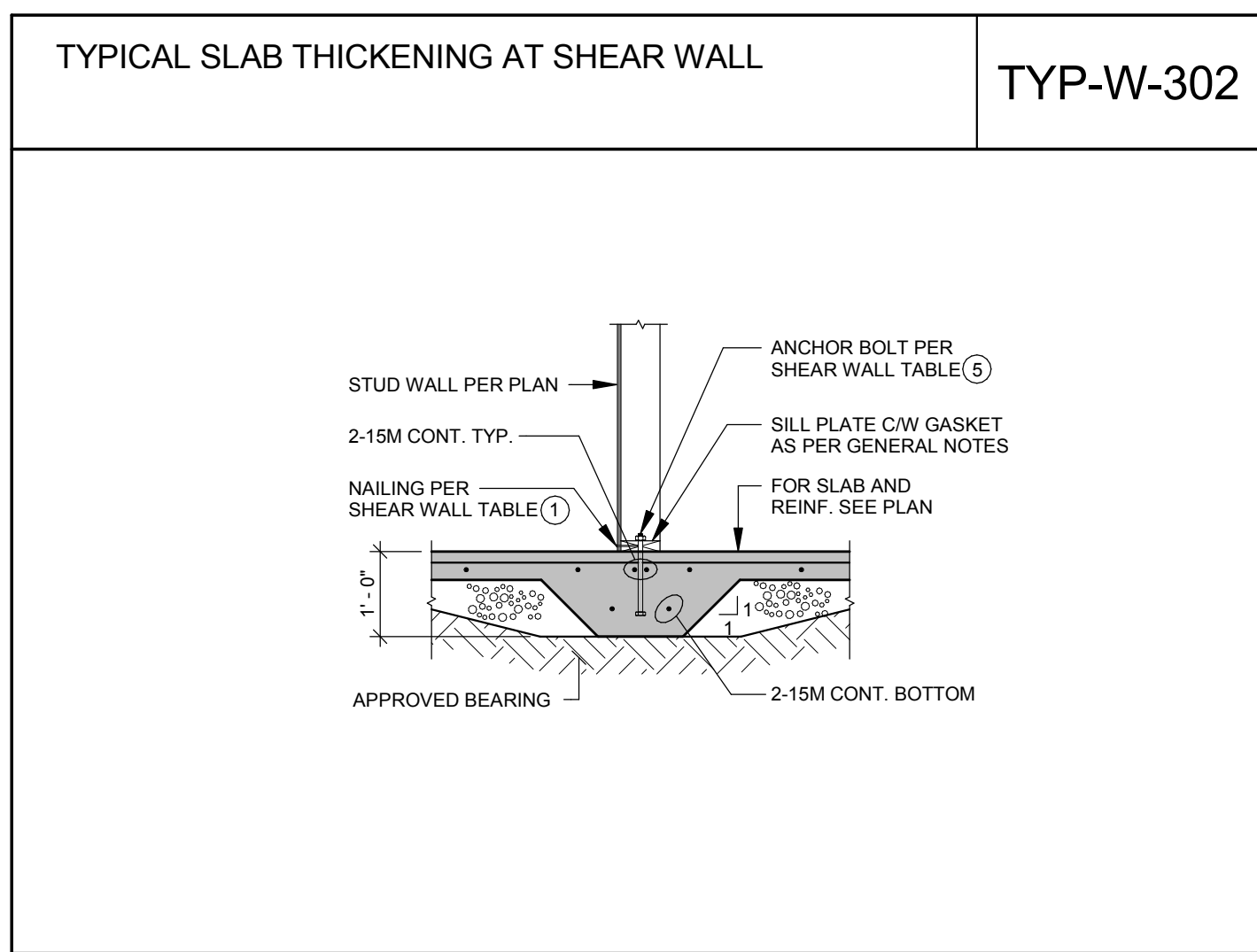
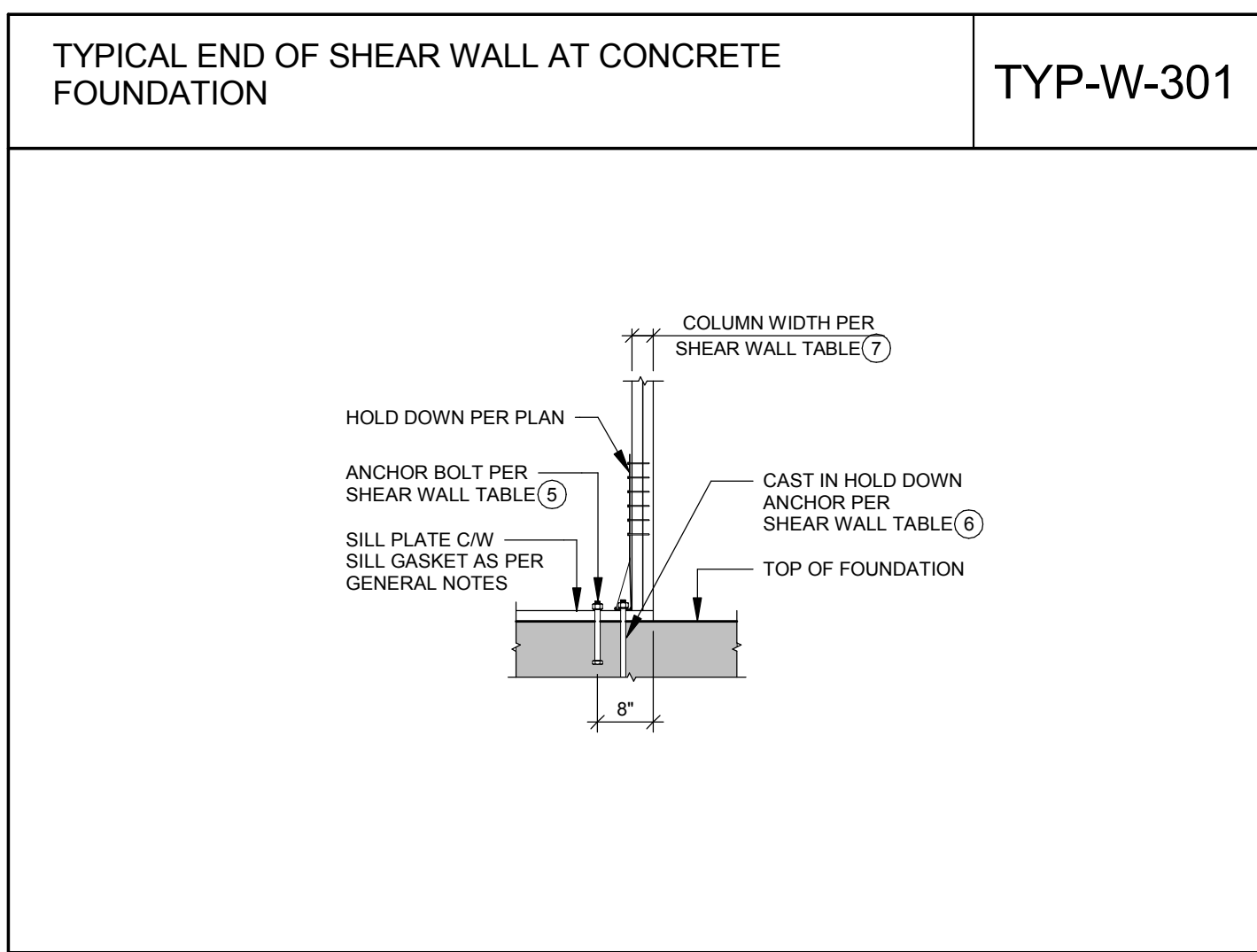
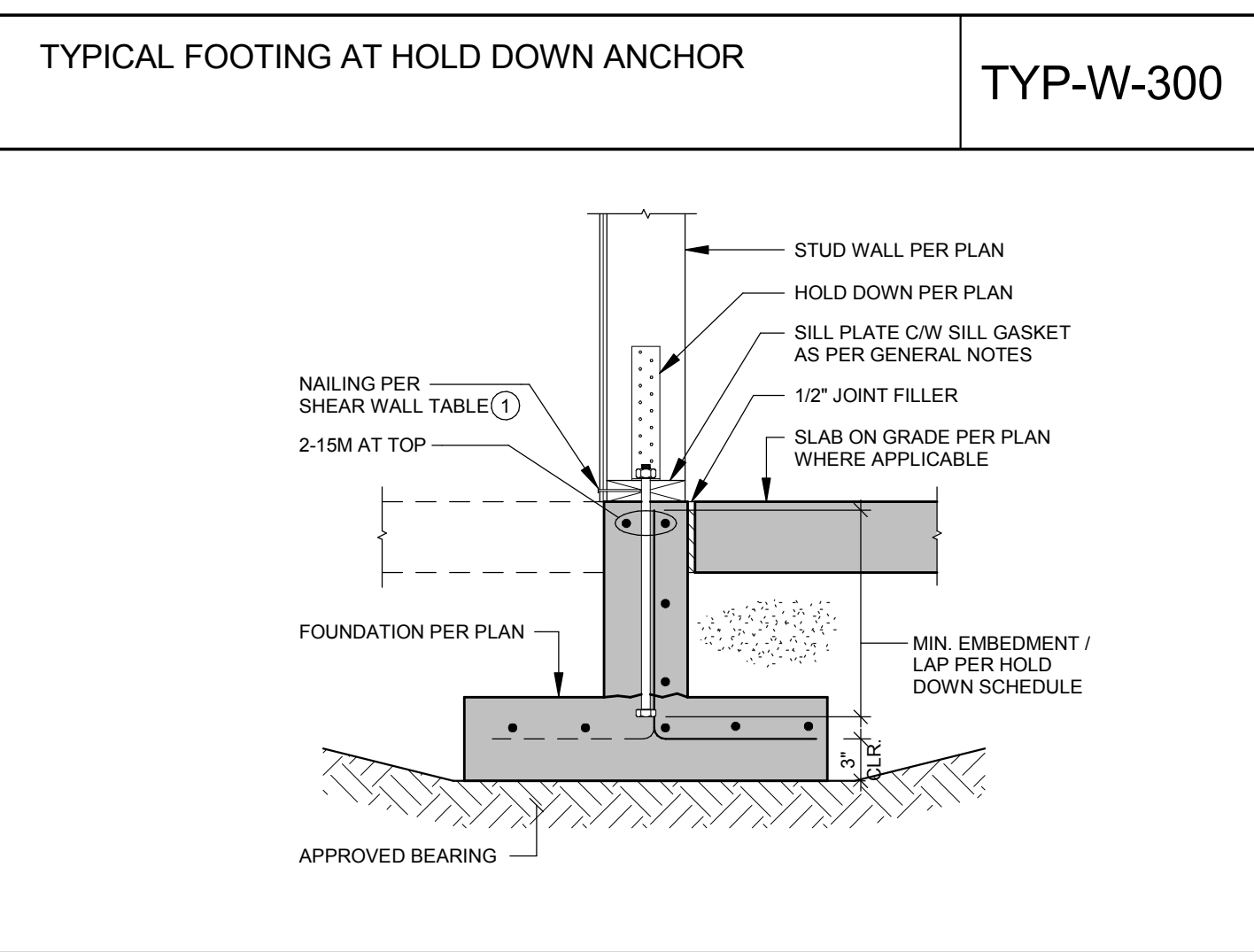
Drawing Status:
BUILDING PERMIT

Issue Date:
12/30/20

Issue:
BUILDING PERMIT

Revision:
01

SHEET NAME



PROJECT ZERO & BUILDING ELEVATIONS	TRUE ELEVATION	ELEVATION TO PROJECT ZERO
PROJECT ZERO:	+000.00	+0.00
AVERAGE BUILDING ELEVATION:	+000.00	-0.00
GROUND LEVEL:	+000.00	+0.00
MAXIMUM BUILDING HEIGHT:	+000.00	+000.00
MAXIMUM BUILDING HEIGHT (ROOF HEIGHT EXCEPTIONS):	+000.00	+00.00
ACTUAL BUILDING HEIGHT:	+000.00	+00.00

NOTE: ALL DIMENSION TO PROJECT ZERO, UOIN.

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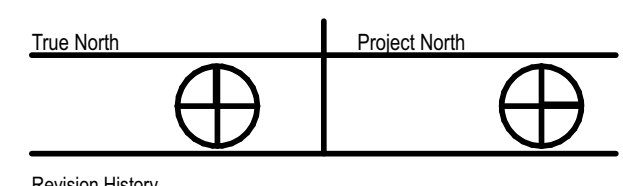
Design
MÉTRICA LLC
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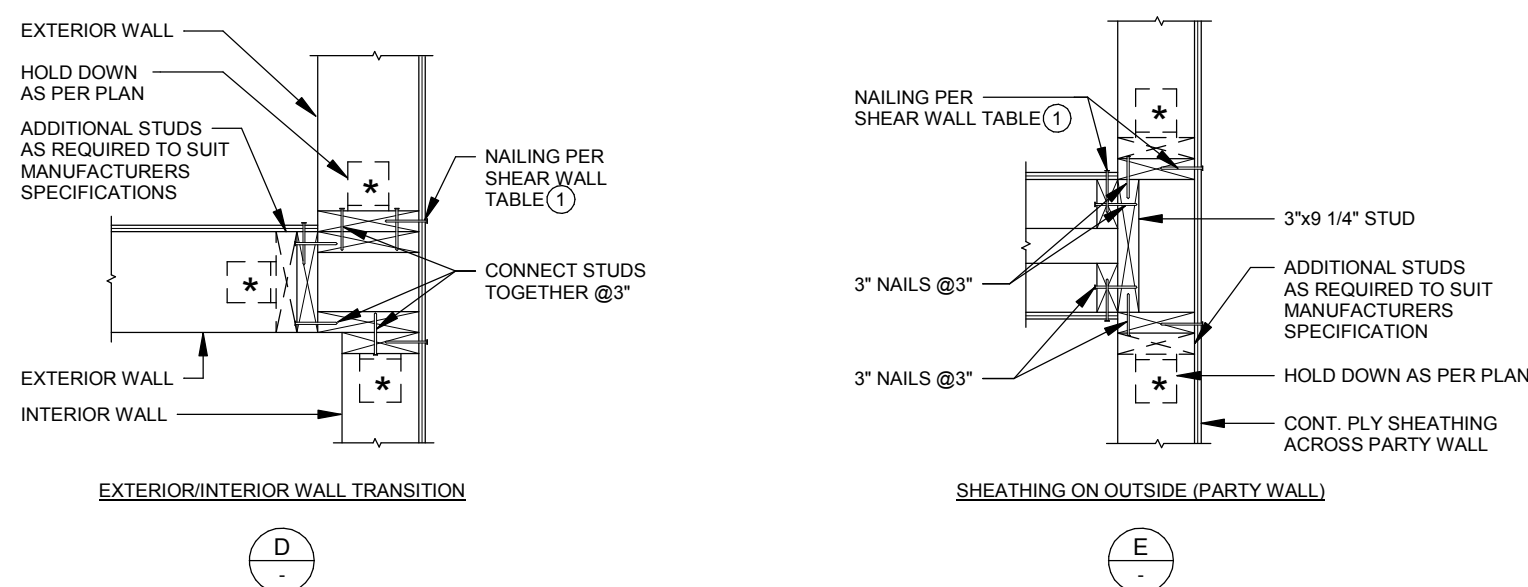
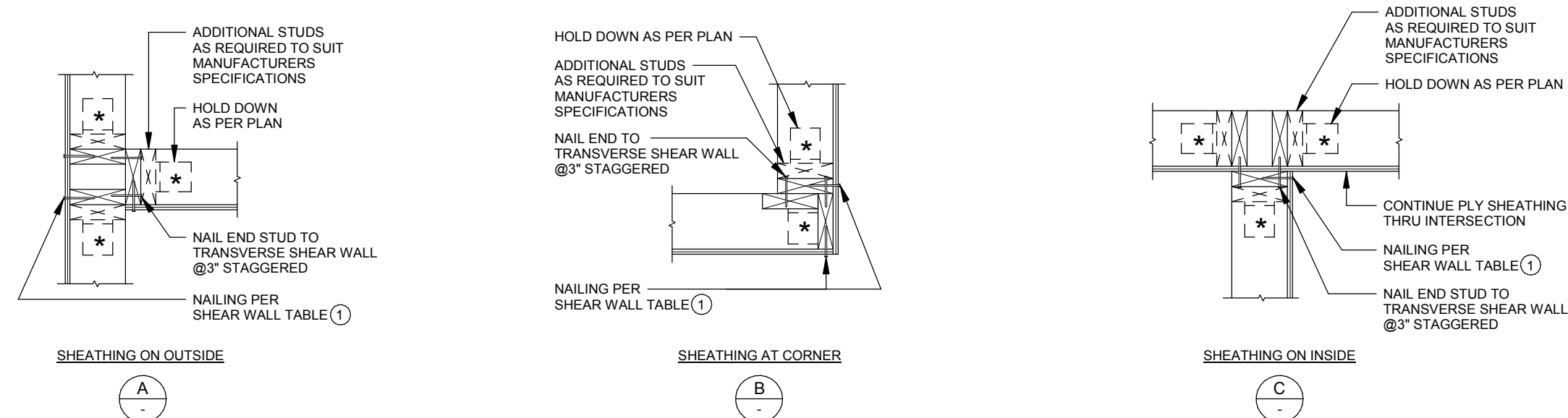
Sheet Size: 2021-03-08
 24" x 36"
 Drawing Title:
TYPICAL DETAILS

Drawing Status:
BUILDING PERMIT
 Issue Date:
 12/30/20
 Issue:
BUILDING PERMIT
 Revision:
 01

SHEET NAME
S303

TYPICAL PLAN DETAILS AT SHEAR WALL INTERSECTIONS

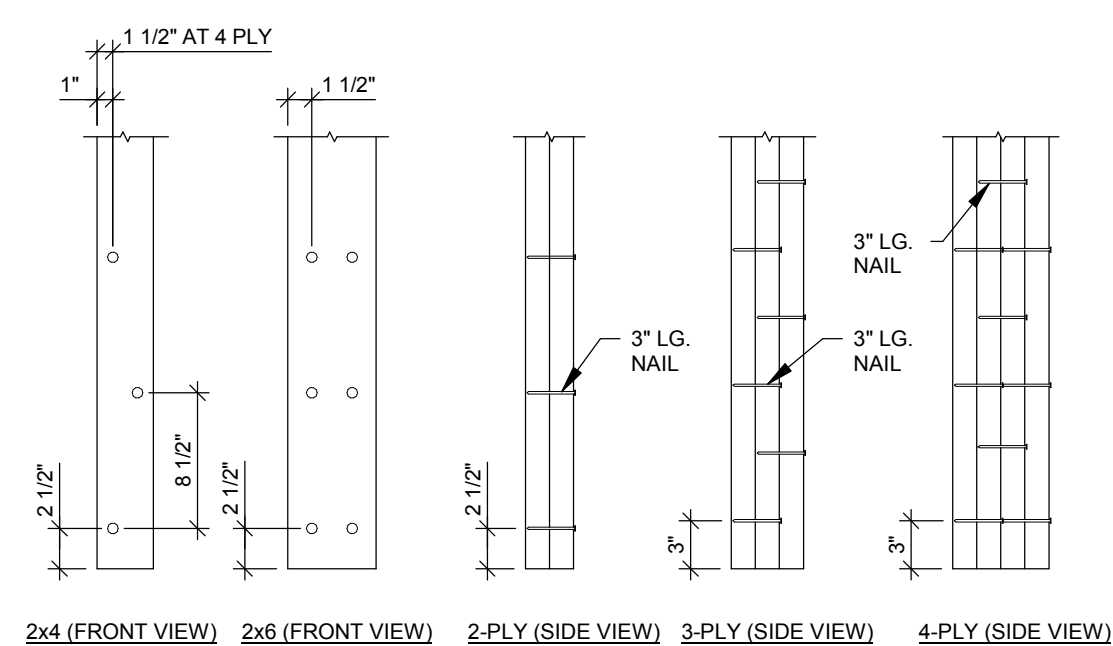
TYP-W-501



NOTE:
* POSSIBLE LOCATION OF HOLD DOWN ANCHORS WHERE NOTED ON PLAN. SEE HOLD DOWN SCHEDULE FOR ADDITIONAL REQUIREMENTS.

TYPICAL NAILING FOR BUILT-UP COLUMNS

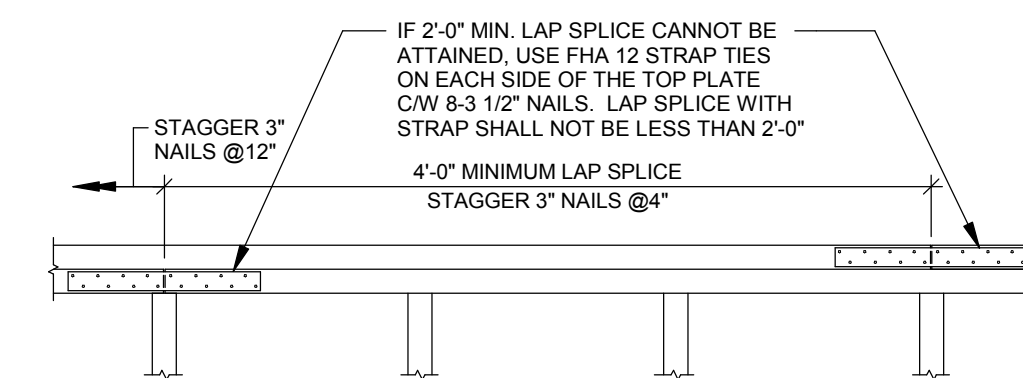
TYP-W-502



NOTE:
FOR BUILT-UP COLUMNS AT HOLD DOWN LOCATIONS, SHEATHING TO BE NAILED TO EACH BUILT-UP COLUMN LAMINATION AS PER SHEAR WALL SCHEDULE (1)

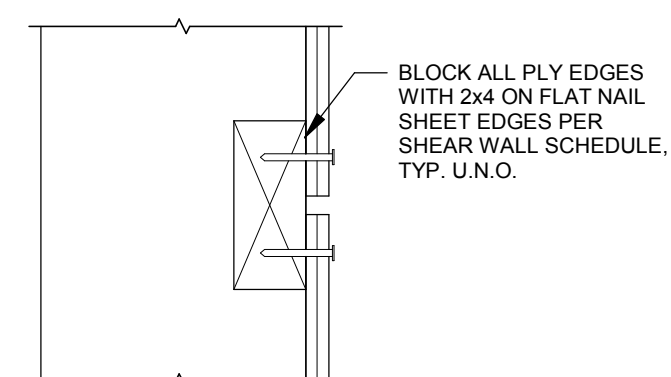
TYPICAL TOP PLATE SPLICE

TYP-W-507



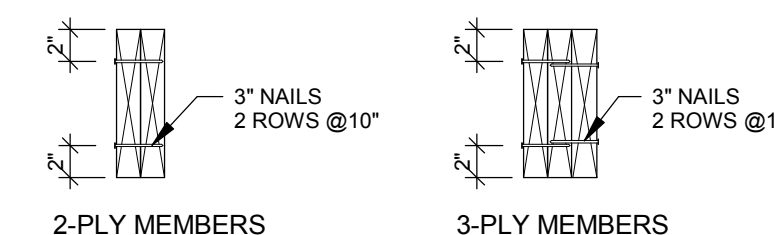
TYPICAL SHEAR WALL BLOCKING

TYP-W-509

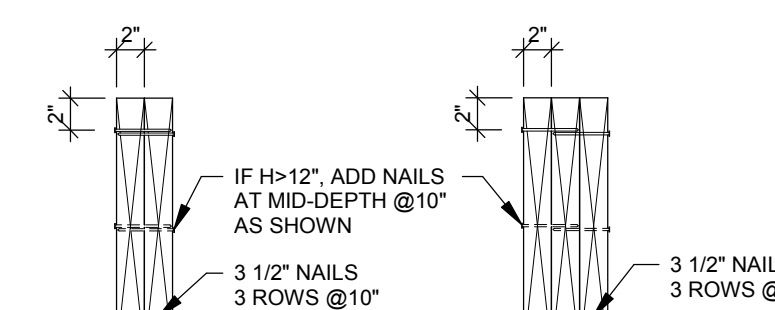


TYPICAL NAILING FOR BUILT-UP BEAMS

TYP-W-510



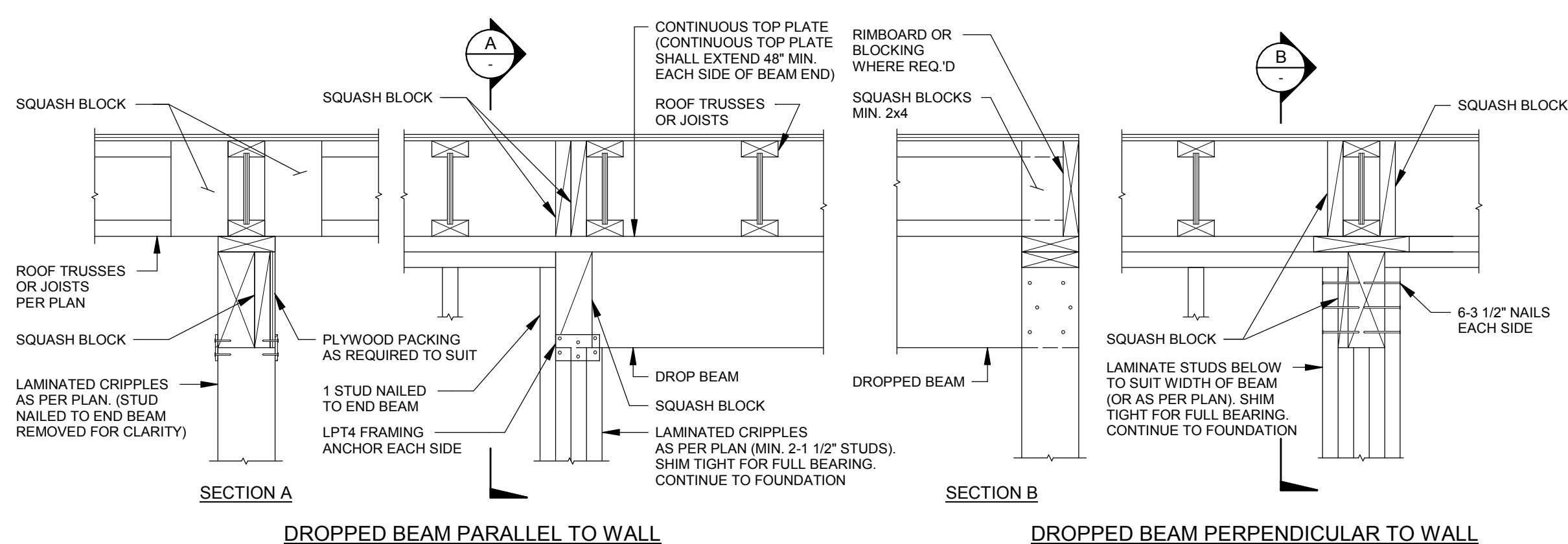
FOR SAWN LUMBER BEAMS



FOR LSL, LVL, PSL BEAMS

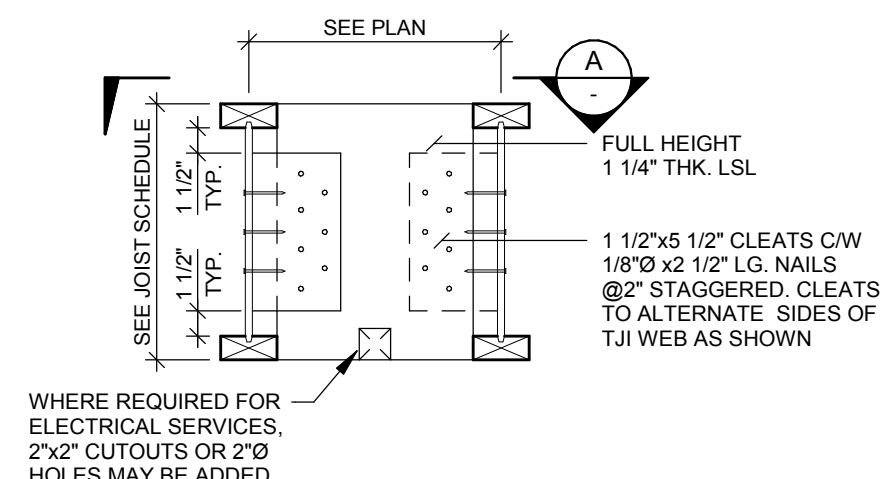
TYPICAL DROPPED BEAM / BUILT-UP POST

TYP-W-503



TYPICAL BLOCKING DETAIL FOR PLYWOOD WEB I-JOISTS

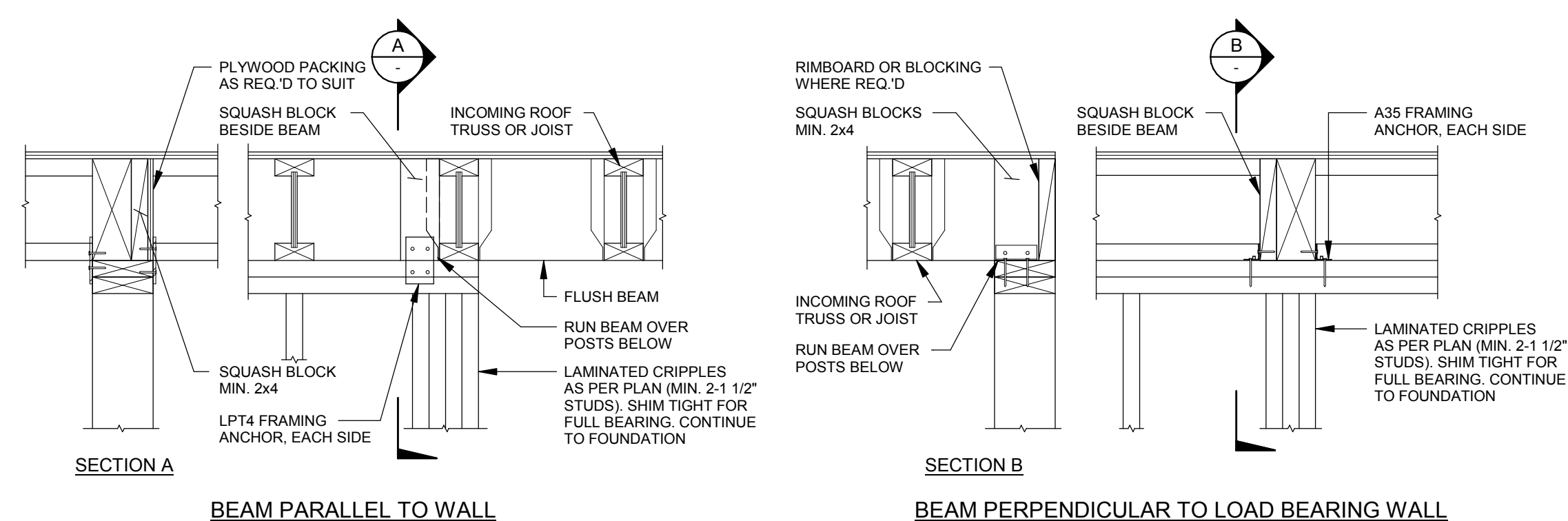
TYP-W-511



SECTION A
1"=1'-0"

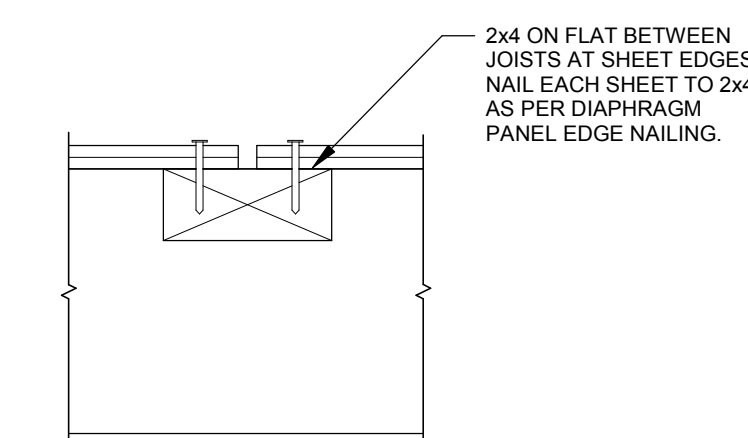
TYPICAL FLUSH BEAM / BUILT-UP POST

TYP-W-504



TYPICAL DIAPHRAGM BLOCKING

TYP-W-512



PROJECT ZERO & BUILDING ELEVATIONS	TRUE ELEVATION	ELEVATION TO PROJECT ZERO
PROJECT ZERO:	+000.00	+0.00
AVERAGE BUILDING ELEVATION:	+000.00	-0.00
GROUND LEVEL:	+000.00	+0.00
MAXIMUM BUILDING HEIGHT:	+000.00	+000.00
MAXIMUM BUILDING HEIGHT (ROOF HEIGHT EXCEPTIONS):	+000.00	+00.00
ACTUAL BUILDING HEIGHT:	+000.00	+00.00

NOTE: ALL DIMENSION TO PROJECT ZERO, UCN.

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Project Name

YAROSLAVSKY

9319 SE 43RD ST
MERCER ISLAND, WA 98040

True North

Project North

Revision History



Sheet Size: 2021-03-08
24" x 36"

Drawing Title:
TYPICAL DETAILS

Drawing Status:
BUILDING PERMIT

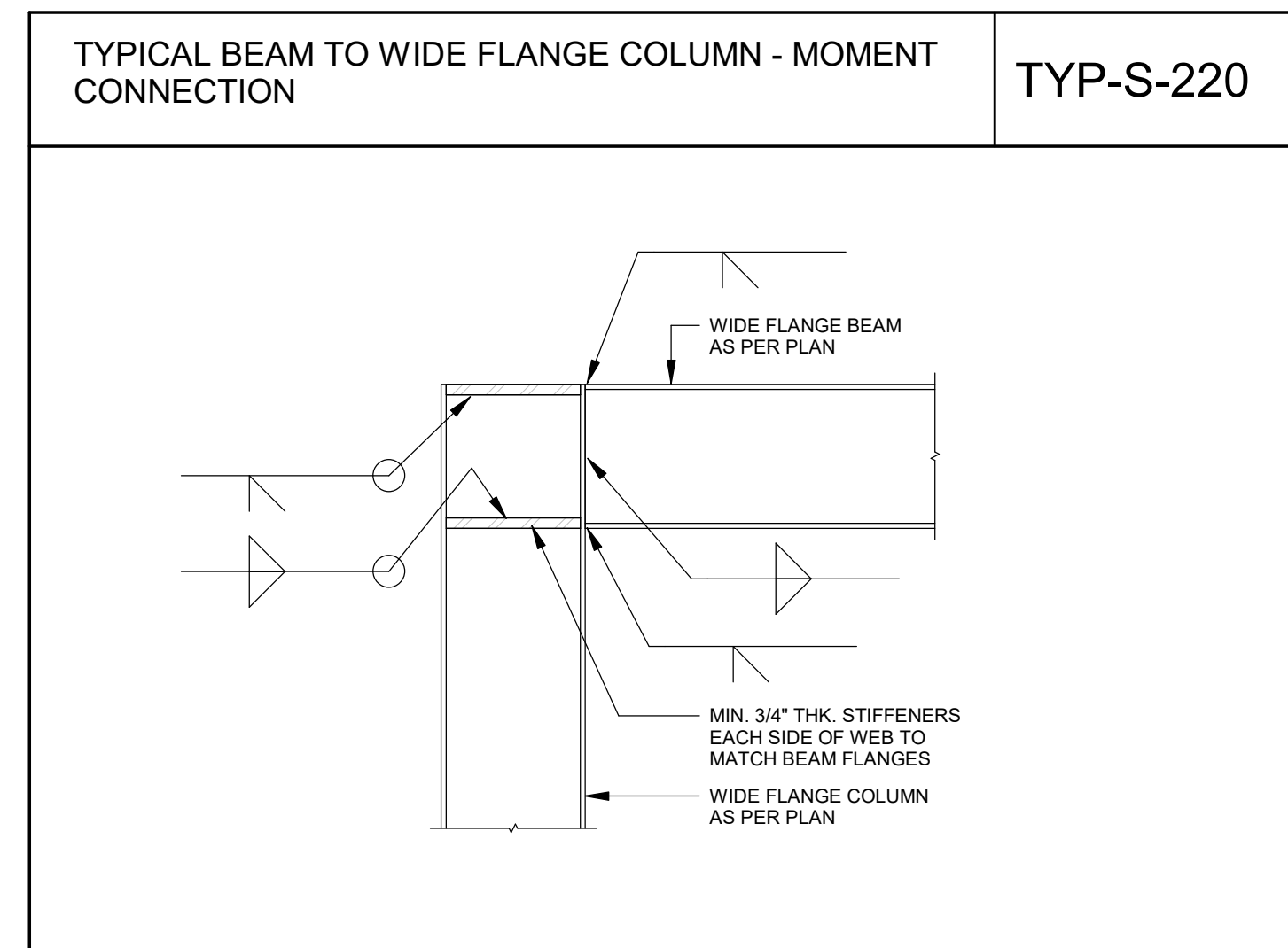
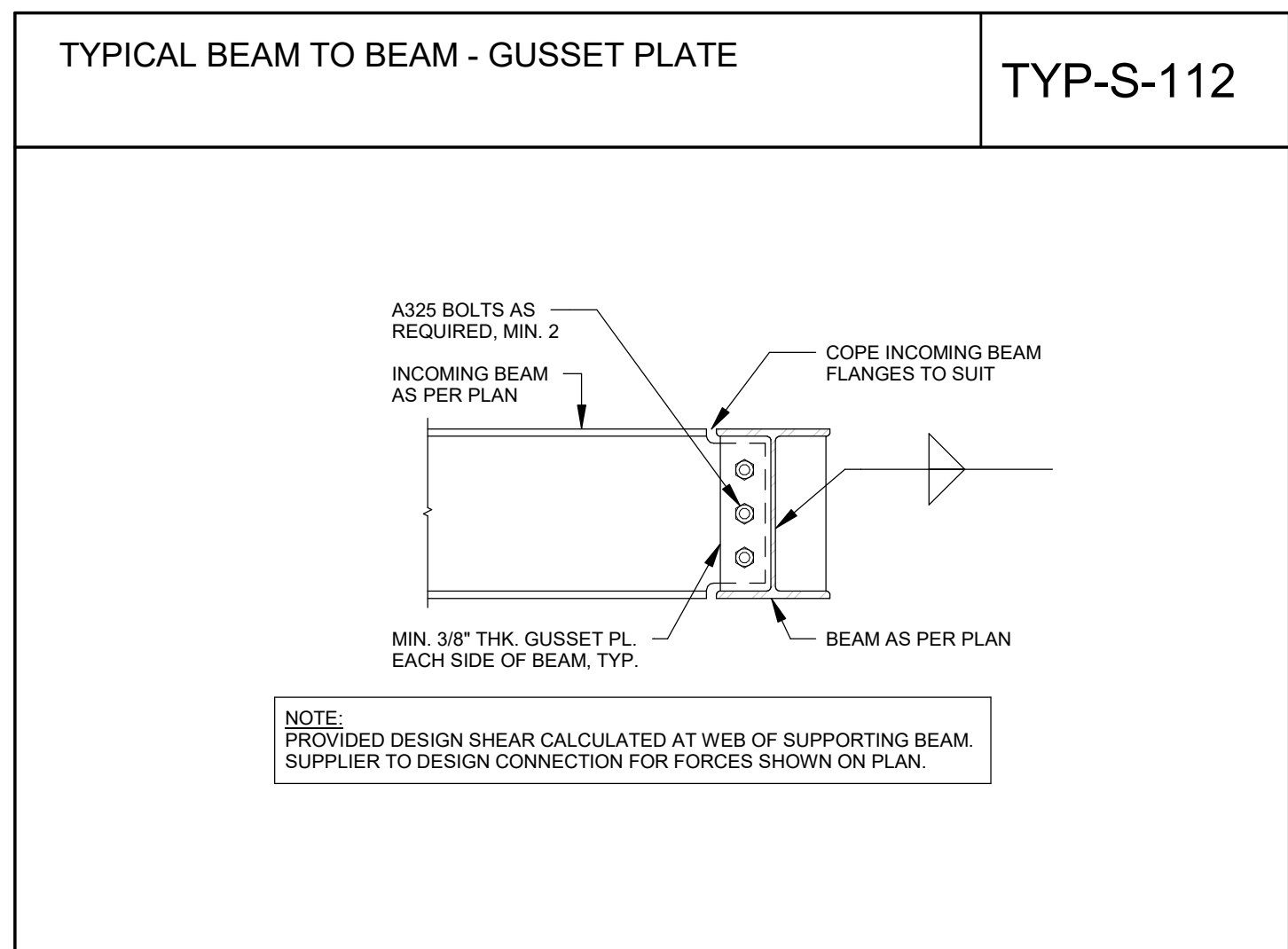
Issue Date:
12/30/20

Issue:
BUILDING PERMIT

Revision:

01

SHEET NAME



PROJECT ZERO & BUILDING ELEVATIONS

	TRUE ELEVATION	ELEVATION TO PROJECT ZERO
PROJECT ZERO:	+000.00	+0.00
AVERAGE BUILDING ELEVATION	+000.00	-0.00
GROUND LEVEL:	+000.00	+0.00
MAXIMUM BUILDING HEIGHT:	+000.00	+000.00
MAXIMUM BUILDING HEIGHT (ROOF HEIGHT EXCEPTIONS):	+000.00	+00.00
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SEATTLE WA 98109

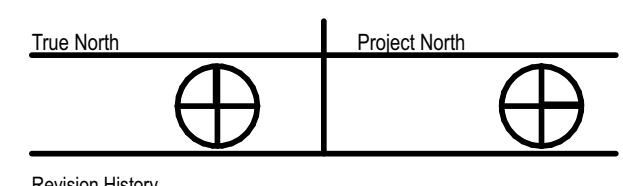
Owner
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Project Name
YAROSLAVSKY
9319 SE 43RD ST
MERCER ISLAND, WA 98040



Revision History



Sheet No: 2021-03-08
24" x 36"

Drawing Title:
TYPICAL DETAILS

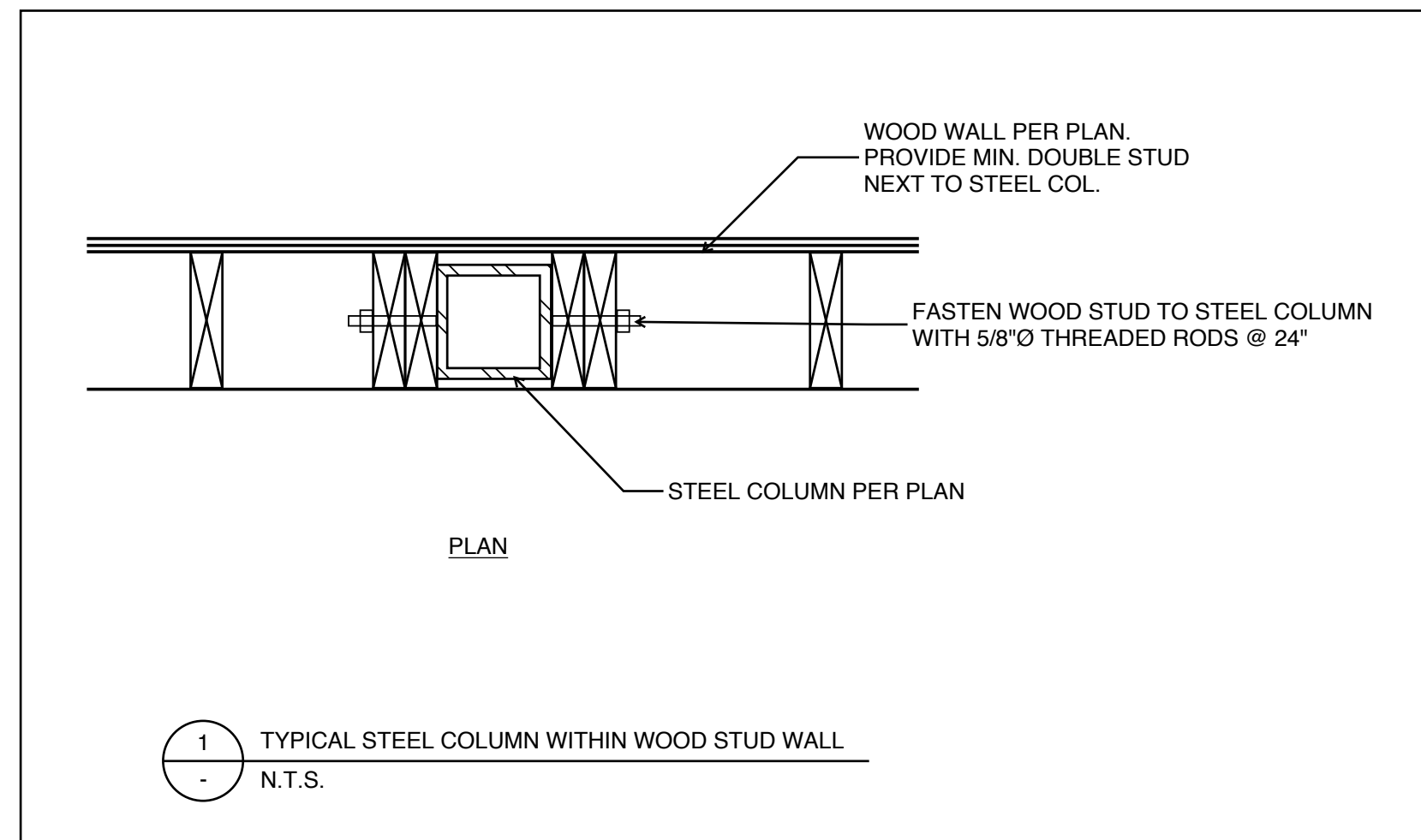
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Issue Date:
12/30/20

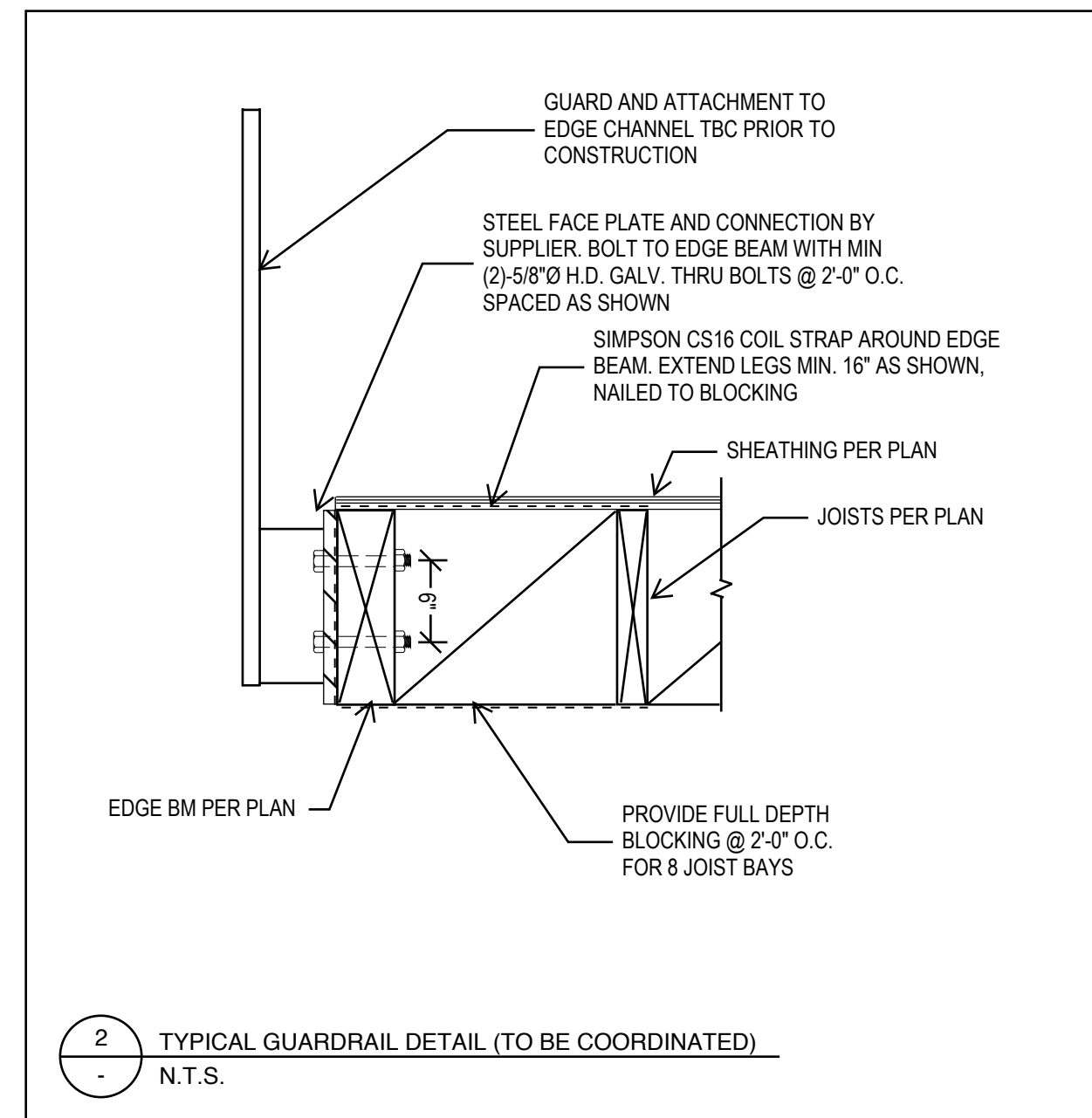
Issue:
BUILDING PERMIT

Revision: 01

SHEET NAME



1 TYPICAL STEEL COLUMN WITHIN WOOD STUD WALL
N.T.S.



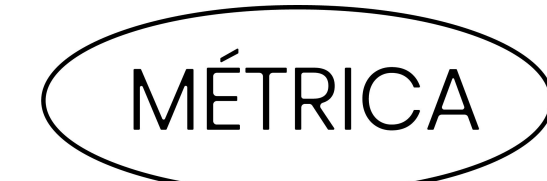
2 TYPICAL GUARDRAIL DETAIL (TO BE COORDINATED)
N.T.S.

PROJECT ZERO & BUILDING ELEVATIONS	TRUE ELEVATION	ELEVATION TO PROJECT ZERO
PROJECT ZERO:	+000.00	+0.00
AVERAGE BUILDING ELEVATION	+000.00	-0.00
GROUND LEVEL:	+000.00	+0.00
MAXIMUM BUILDING HEIGHT:	+000.00	+000.00
MAXIMUM BUILDING HEIGHT (ROOF HEIGHT EXCEPTIONS):	+000.00	+00.00
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Owner

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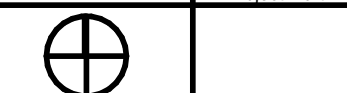
Project Name

YAROSLAVSKY

9319 SE 43RD ST
MERCER ISLAND, WA 98040

True North

Project North



Revision History



Sheet No: 2021-03-08
24" x 36"

Drawing Title:

SECTIONS & DETAILS

Drawing Status:

BUILDING PERMIT

Issue Date:

12/30/20

Issue:

BUILDING PERMIT

Revision:

01

SHEET NAME

S306

PROJECT ZERO & BUILDING ELEVATIONS	TRUE ELEVATION	ELEVATION TO PROJECT ZERO
PROJECT ZERO:	+000.00	+0.00
AVERAGE BUILDING ELEVATION	+000.00	-0.00
GROUND LEVEL:	+000.00	+0.00
MAXIMUM BUILDING HEIGHT:	+000.00	+000.00
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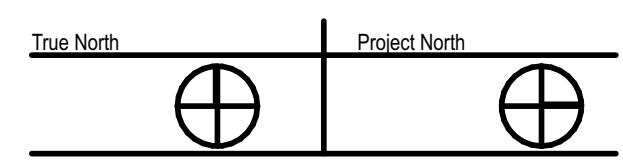
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Project Name
YAROSLAVSKY
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Revision History



Sheet No: 2021-03-08
 24" x 36"

Drawing Title:
ELEVATIONS

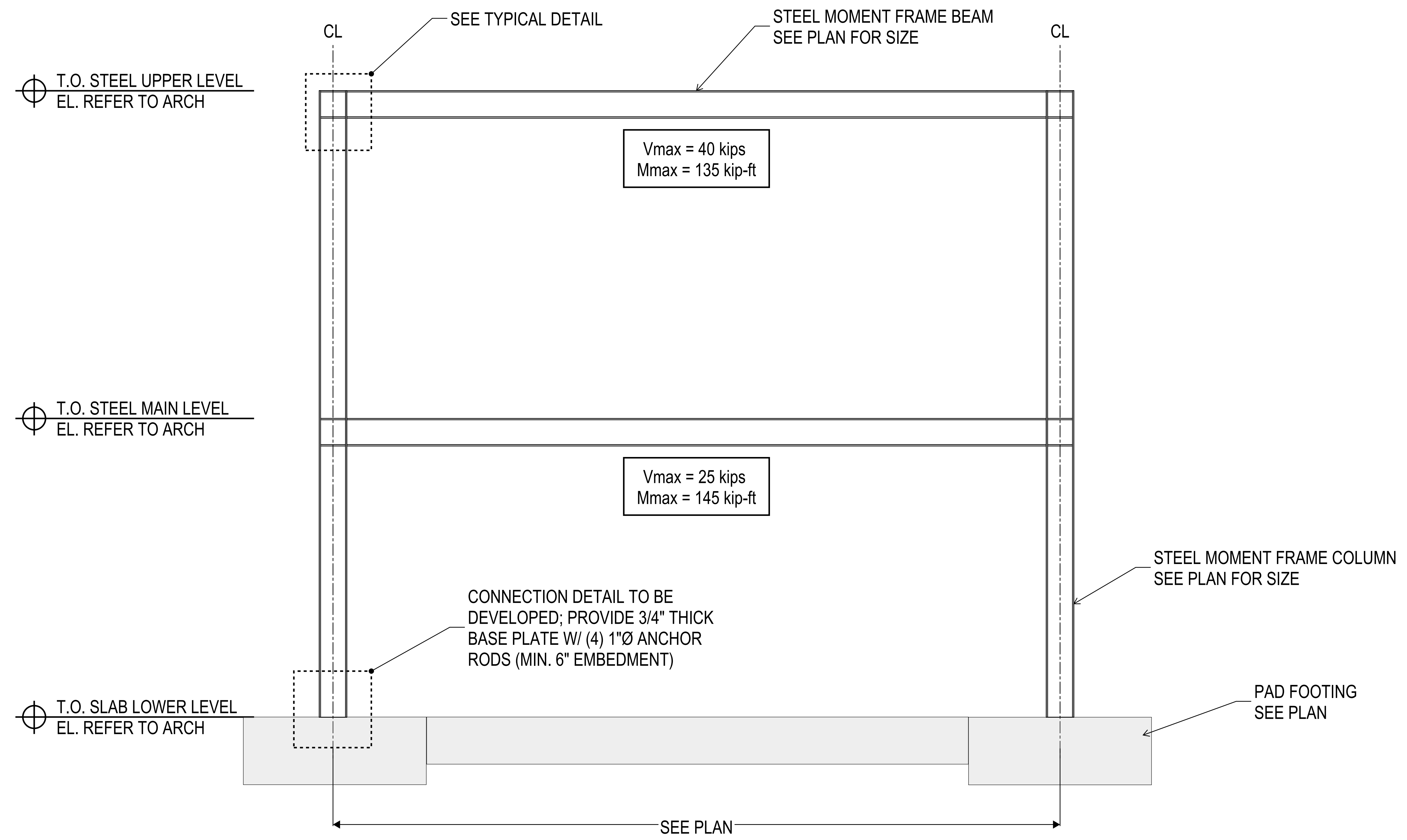
Drawing Status:
BUILDING PERMIT

Issue Date:
 12/30/20

Issue:
BUILDING PERMIT

Revision:
 01

SHEET NAME



LEGEND:

STEEL FABRICATOR TO DESIGN CONNECTIONS PER DESIGN VALUES:

Vmax = MAXIMUM DESIGN SHEAR IN KIPS (ASD)
 Mmax = MAXIMUM DESIGN MOMENT IN KIP-FT (ASD)